



BOARD OF TRUSTEES

Regular Meeting

May 8, 2019

7:00 p.m.

1. CALL MEETING TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. APPROVAL OF AGENDA
5. PRESENTATIONS
6. PUBLIC HEARINGS
7. PUBLIC COMMENT: Restricted to three minutes regarding items on this agenda
Note: This is an opportunity for comments only, questions to the Board will not be answered at this time. For specific answers to questions, please call Township Hall (989-772-4600)
8. REPORTS/BOARD COMMENTS
 - A. Current List of Boards and Commissions – Appointments as needed
 - B. Board Member Reports
9. CONSENT AGENDA
 - A. Communications
 - B. Minutes – April 24, 2019- regular meeting
 - C. Accounts Payable
 - D. Payroll
 - E. Meeting Pay
 - F. Fire Reports
10. NEW BUSINESS
 - A. Discussion/Action (Gallinat): Approve SUP 2019-02 located at S. Lincoln Rd for the expansion of existing self-storage building operation as a special use on the condition that a site plan is approved by the Township Planning Commission
 - B. Discussion/Action (Gallinat): Introduce Zoning Map Amendment Ordinance 2019-03 for First Reading. Publish proposed ordinance adoption for May 22, 2019
 - C. Discussion/Action (Stuhldreher): Consider Resolution Expressing a Position on Option for Nonpartisan Township Office Elections
11. EXTENDED PUBLIC COMMENT: Restricted to 5 minutes regarding any issue

*Note: This is an opportunity for comments only, questions to the Board will not be answered at this time.
For specific answers to questions, please call Township Hall (989-772-4600)*

12. MANAGER COMMENTS

13. FINAL BOARD MEMBER COMMENT

14. CLOSED SESSION

15. ADJOURNMENT



Board Expiration Dates

Planning Commission Board Members (9 Members) 3 year term			
#	F Name	L Name	Expiration Date
1-BOT Representative	Lisa	Cody	11/20/2020
2-Chair	Phil	Squattrito	2/15/2020
3- Vice Chair	Bryan	Mielke	2/15/2021
4-Secretary	Alex	Fuller	2/15/2020
5 - Vice Secretary	Mike	Darin	2/15/2022
6	Stan	Shingles	2/15/2021
7	Ryan	Buckley	2/15/2022
8	Denise	Webster	2/15/2020
9	Doug	LaBelle II	2/15/2022
Zoning Board of Appeals Members (5 Members, 2 Alternates) 3 year term			
#	F Name	L Name	Expiration Date
1-Chair	Tim	Warner	12/31/2019
2-PC Rep / Vice Chair	Bryan	Mielke	2/18/2021
3-Secretary	Jake	Hunter	12/31/2019
4- Vice Secretary	Andy	Theisen	12/31/2019
5	Taylor	Sheahan-Stahl	12/31/2021
Alt. #1	John	Zerbe	12/31/2019
Alt. #2	Liz	Presnell	2/15/2021
Board of Review (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Doug	LaBelle II	12/31/2020
2	James	Thering	12/31/2020
3	Bryan	Neyer	12/31/2020
Alt #1	Randy	Golden	1/25/2021
Citizens Task Force on Sustainability (4 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Don	Long	12/31/2020
2	Mike	Lyon	12/31/2020
3	vacant seat		12/31/2018
4	Phil	Mikus	11/20/2020
Construction Board of Appeals (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Colin	Herron	12/31/2019
2	Richard	Jakubiec	12/31/2019
3	Andy	Theisen	12/31/2019
Hannah's Bark Park Advisory Board (2 Members from Township) 2 year term			
1	Mark	Stuhldreher	12/31/2020
2	John	Dinse	12/31/2019
Chippewa River District Library Board 4 year term			
1	Ruth	Helwig	12/31/2019
2	Lynn	Laskowsky	12/31/2021



Board Expiration Dates

EDA Board Members (11 Members) 4 year term			
#	F Name	L Name	Expiration Date
1	Thomas	Kequom	4/14/2023
2	James	Zalud	4/14/2023
3	Richard	Barz	2/13/2021
4	Robert	Bacon	1/13/2023
5	Ben	Gunning	11/20/2020
6	Marty	Figg	6/22/2022
7	Sarvjit	Chowdhary	1/20/2022
8	Cheryl	Hunter	6/22/2019
9	Vance	Johnson	2/13/2021
10	Michael	Smith	2/13/2021
11	David	Coyne	3/26/2022
Mid Michigan Area Cable Consortium (2 Members)			
#	F Name	L Name	Expiration Date
1	Kim	Smith	12/31/2020
2	Vacant		
Cultural and Recreational Commission (1 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1	Brian	Smith	12/31/2019
Sidewalks and Pathways Prioritization Committee (2 year term)			
#	F Name	L Name	Expiration Date
1 BOT Representative	Phil	Mikus	7/26/2019
2 PC Representative	Denise	Webster	8/15/2020
3 Township Resident	Sherrie	Teall	8/15/2019
4 Township Resident	Jeremy	MacDonald	10/17/2020
5 Member at large	Connie	Bills	8/15/2019

2019 CHARTER TOWNSHIP OF UNION
Board of Trustees
Regular Meeting

A regular meeting of the Charter Township of Union Board of Trustees was held on April 24, 2019 at 7:01 p.m. at Union Township Hall.

Meeting was called to order at 7:00 p.m.

Roll Call

Present: Supervisor Gunning, Clerk Cody, Treasurer Rice, Trustees B. Hauck, Trustee Mikus, Trustee Lannen, and Trustee Woerle

Approval of Agenda

Gunning moved **Rice** supported to approve the Agenda as presented. **Vote: Ayes: 7 Nays: 0. Motion carried.**

Presentations

A. Roger Hauck, Michigan's 99th State House District Representative, thanked the Board of Trustees for their participation in getting MDOT to install left turn signaling at the Isabella/Pickard intersection

B. Jim McBryde, President and CEO of the Middle Michigan Development Corporation 2019 annual report presentation

C. Braun Kendrick introduction of Eric Morris and David Puskar to the Board of Trustees

Public Hearings

Public Comment - open 7:22 p.m.
No comments were offered.

Reports/Board Comments

A. Board Member Reports

Cody – Updates from the City of Mt. Pleasant meeting

Gunning – EDA updates

Hauck – Isabella County Road Commission Updates

Lannen – Isabella County Board of Commissioners and MTA Isabella County Chapter updates

Rice – Delinquent Personal Property mailings went out this week

Consent Agenda

- A. Communications
 - 1. Planning Commission minutes
 - 2. ZBA minutes
- B. Minutes – April 10, 2019- regular meeting
- C. Accounts Payable
- D. Payroll
- E. Meeting Pay
- F. Fire Reports
- G. Policy Governance 2.5 Financial Conditions & Activities

- H. Policy Governance 2.5.10 Cash Flow Ratio
- I. Policy Governance 2.6 Asset Protection

Rice moved **Hauck** supported to approve the consent agenda as presented. **Vote: Ayes: 7 Nays: 0. Motion carried.**

BOARD AGENDA

A. Discussion/Action: (Stuhldreher) Policy Governance 3.4 Agenda Planning

Discussion by the Board of Trustees.

EXTENDED PUBLIC COMMENT - Open 8:12 p.m.

No comments were offered.

MANAGER COMMENTS

- Jameson Hall Public Input meeting scheduled at 5:30 pm on 4/30/19 to be held at Union Township Hall, 2010 S. Lincoln Rd.
- Bathrooms at Township parks are now open
- Expanded payment options on BS & A website
- Still looking for seasonal employees
- Asked Board to RSVP for Leadership Luncheon
- Reported out to Board that on 4/15/19 work done on Broomfield damaged a well head and Business was without water – Township approved emergency hook-up – franchise paperwork to follow
- Announced that Teresa Ward was hired as the Assistant/General Property Tax Specialist and will be starting on May 1st

FINAL BOARD MEMBER COMMENTS

Gunning – Mentioned ICRC accommodating canoe business this summer during Lincoln Rd. construction project

Lannen– Stated that he values the detailed manager’s monthly Township activity report.

Commented on Zoning Ordinance rewrite and also commented on proposed Pickard Road Diet

ADJOURNMENT

Cody moved **Woerle** supported to adjourn the meeting at 8:41 p.m. **Vote: Ayes: 7 Nays: 0. Motion carried.**

APPROVED BY:

Lisa Cody, Clerk

Ben Gunning, Supervisor

(Recorded by Jennifer Loveberry)

Check Date	Bank	Check	Vendor	Vendor Name	Description	Amount
Bank 101 POOLED CHECKING						
04/29/2019	101	257 (E)	00146	CONSUMERS ENERGY PAYMENT CENTER	5228 S ISABELLA	6,378.83
					5144 BUDD	25.40
					5142 BUDD	166.41
					2270 NORTHWAY	29.39
					2055 ENTERPRISE	258.93
					1660 BELMONT	78.59
					5525 E REMUS	112.51
					1933 S ISABELLA	556.08
					5537 E BROADWAY	266.77
					5240 E BROOMFIELD	1,004.02
					900 MULBERRY	74.34
					4244 E BLUEGRASS	70.73
					5076 S MISSION	894.30
					4795 S MISSION	2,147.06
					4797 S MISSION BARN	495.42
					4822 ENCORE	107.59
					3998 E DEERFIELD	94.75
					5369 S CRAWFORD	67.95
					3248 S CONCOURSE	227.53
					1776 E PICKARD	73.26
					2180 S LINCOLN	25.40
					2188 E PICKARD	71.01
					1876 E PICKARD	181.25
					2495 E DEERFIELD	370.53
					2424 W MAY	482.32
					800 CRAIG HILL	56.47
					4520 E RIVER	500.55
					1633 S LINCOLN	269.56
					5319 E AIRPORT	72.75
					1046 S MISSION	131.78
					1605 SCULLY	78.18
					2010 S LINCOLN	837.98
					4511 E RIVER	12,128.42
					2279 S MERIDIAN PUMP HOUSE	138.34
					2279 S MERIDIAN	888.97
						<u>29,363.37</u>
04/29/2019	101	258 (E)	00146	VOID		
				Void Reason: Created From Check Run Process		
04/29/2019	101	259 (E)	00146	VOID		
				Void Reason: Created From Check Run Process		
05/01/2019	101	260 (E)	01233	UNITED STATES OF AMERICA	PMT ON LOAN #92-04	33,136.24
05/02/2019	101	261 (E)	01105	MASTERCARD	MASTERCARD BEBOW	499.54
					MASTERCARD WALDRON	124.77
					MASTERCARD DEARING	332.56
					MASTERCARD MCBRIDE	151.16
					MASTERCARD ROCKAFELLOW	168.94
					MASTERCARD FUSSMAN	71.42
					MASTERCARD SMITH K	576.75
					MASTERCARD STUHLBREHER	1,845.00
					MASTERCARD HOHLBEIN	67.50
					MASTERCARD TEALL	324.20
					MASTERCARD OCKERT	289.10
					MASTERCARD COFFELL	140.78

Check Date	Bank	Check	Vendor	Vendor Name	Description	Amount
					MASTERCARD THEISEN	368.39
					MASTERCARD DEPRIEST	169.24
						<u>5,129.35</u>
05/08/2019	101	21014	00020	JAMES ALWOOD	WELL SITE LEASE - APRIL 2019	316.24
05/08/2019	101	21015	00072	BLOCK ELECTRIC	PREP FOR OFFICE REMODEL	10,250.00
05/08/2019	101	21016	00095	C & C ENTERPRISES, INC.	JANITORIAL SUPPLIES - PARKS	459.70
					JANITORIAL SUPPLIES - WWTP	87.50
					JANITORIAL SUPPLIES - PARKS	71.90
					SAFETY GLASSES - PARKS	6.26
						<u>625.36</u>
05/08/2019	101	21017	00129	CMS INTERNET, LLC	REPLACEMENT PC-WTR OFFICE ASSISTANT	911.99
					COMPUTER MONITOR FOR SHAWN	189.99
						<u>1,101.98</u>
05/08/2019	101	21018	00155	COYNE OIL CORPORATION	FUEL IN TOWNSHIP VEHICLES - APR 2019	640.62
05/08/2019	101	21019	01242	CULLIGAN WATER	WATER COOLER RENT FOR SHOP	8.00
05/08/2019	101	21020	01171	DBI BUSINESS INTERIORS	BATTERIES - TWP SUPPLIES	22.68
05/08/2019	101	21021	00176	PATRICIA DEPRIEST	FEE FOR LAND VALUES CLASS-ASSESSOR	98.64
05/08/2019	101	21022	00193	DUBOIS-COOPER ASSOC.	IMPELLER/GASKET/O-RING	1,965.00
05/08/2019	101	21023	00257	GOURDIE-FRASER, INC.	PUMP STATION #14 UPGRADE - CONSTR ADMINI	504.00
05/08/2019	101	21024	00261	GRAINGER	RUST REMOVER FOR WWTP	599.21
					FLOOR MATS FOR WTR OFFICE	165.13
					FLOOR MATS FOR WTR OFFICE	301.99
						<u>1,066.33</u>
05/08/2019	101	21025	01300	LINDSAY SOFT WATER	WTR SOFTENER SALT FOR TWP HALL	11.25
05/08/2019	101	21026	00128	CITY OF MT. PLEASANT	FIRE CONTRACT PAYMENT-2ND Q 2019	182,850.00
05/08/2019	101	21027	01146	MUNICIPAL CONSULTING SERVICES, LLC	SALARY STUDY - PROG PMT #2	2,300.00
05/08/2019	101	21028	01136	OPTO SOLUTIONS, INC	LOOP ANALOG OUTPUT MODULE FOR WWTP	436.10
05/08/2019	101	21029	00131	PERCEPTIVE CONTROLS, INC	IGNITION KEYPAGE PC PROGRAMMING FOR WWTP	3,024.00
05/08/2019	101	21030	00525	PICKARD STREET CAR WASH	MARCH WASHES 2019	72.00
05/08/2019	101	21031	01440	RESERVE ACCOUNT	RELOAD POSTAGE METER RESERVE ACCOUNT	5,000.00
05/08/2019	101	21032	00570	RS TECHNICAL SERVICES, INC.	PUMP TUBE ASSEMBLY	274.90
05/08/2019	101	21033	01030	TIM LANNEN	EXPENSES FOR POLICY GOVERNANCE TRAINING	228.16
05/08/2019	101	21034	00720	UNION TOWNSHIP LITTLE LEAGUE	WOOD FENCE MATERIAL FOR BALL FIELD	5,171.60
05/08/2019	101	21035	01032	UNITED STATES POSTAL SERVICE	POSTAGE PERMIT #11 ANNUAL FEE-2019	470.00
05/08/2019	101	21036	01013	USA BLUE BOOK	KPSI 700 TRANSDUCER - SOLIDS EQUIPMENT	990.16
					PRESSURE GAUGE & FULL FACE RESPIRATOR	328.85
					SILENT CHECK VALVE & LED LITE	1,247.72
						<u>2,566.73</u>
05/08/2019	101	21037	01314	VERIZON WIRELESS	CELL PHONES 3-16-19 TO 4-15-19	408.65
05/08/2019	101	21038	00703	WASTE MANAGEMENT OF MICHIGAN, INC	DUMPSTER SERVICE-WTR PLANT MAY 2019	78.89
					DUMPSTER SERVICE-SHOP MAY 2019	51.38
					DUMPSTER SERVICE-MCDONALD PARK MAY 2019	195.15
					DUMPSTER SERVICE-TWP HALL MAY 2019	66.64
					DUMPSTER SERVICE-WWTP MAY 2019	845.67
					DUMPSTER SERVICE-JAMESON APR 2019	130.50
						<u>1,368.23</u>
05/08/2019	101	21039	01246	WOLVERINE POWER SYSTEMS	OIL FILTER & CHANGE-RIVER RD VALVE STN	290.00

05/02/2019 12:07 PM
User: SHERRIE
DB: Union

CHECK REGISTER FOR CHARTER TOWNSHIP OF UNION
CHECK DATE FROM 04/25/2019 - 05/08/2019

Check Date	Bank	Check	Vendor	Vendor Name	Description	Amount
					OIL FILTER & CHANGE-DEERFIELD TOWER VALV	290.00
						580.00
05/08/2019	101	21040	01483	XEROX FINANCIAL SERVICES	LEASE PAYMENT - APRIL 2019	1,500.76
101 TOTALS:						
Total of 32 Checks:						290,490.19
Less 2 Void Checks:						0.00
Total of 30 Disbursements:						290,490.19

Charter Township of Union Payroll
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CHECK DATE: May 2, 2019

PPE: April 27, 2019

NOTE: PAYROLL TRANSFER NEEDED

General Fund	\$	25,828.25
EDDA		-
WDDA		-
Sewer Fund		29,675.89
Water Fund		23,324.69
Total To Transfer from Pooled Savings	\$	78,828.83

NOTE: CHECK TOTAL FOR TRANSFER

Gross Payroll	\$	54,320.11
Employer Share Med		750.28
Employer Share SS		3,208.12
SUI		47.81
Pension-Employer Portion		3,596.16
Workers' Comp		594.61
Life/LTD		556.37
Dental		1,086.33
Health Care		16,648.17
Vision		344.68
Vision Contribution		(172.34)
Health Care Contribution		(2,151.47)
Cobra/Flex Administration		-
PCORI Fee		-
Total Transfer to Payroll Checking	\$	78,828.83

meeting
5/8/19

CHARTER TOWNSHIP OF UNION
MEETING PAY REQUEST FORM
2019

BOARD MEMBER: TIM LANNEN

MONTH: April

Date	Meeting	Time Attended		Total
		1hr or less	More than Hr	
4.2.19	County Board of Commissioners	✓		\$50
4.4.19	League of Women: Elected officials		✓	\$75
4.16.19	County Board of Commissioners	✓		\$50
4.17.19	MTA County Chapters Meeting		✓	\$75
4.25.19	Policy Gov. Bootcamp - Grand Rapids		✓	\$75
4.26.19	Policy Gov. Bootcamp - Grand Rapids		✓	\$75

SIGNATURE: Tim Lannen Date: 4.24.19

1. This form is filled out by the board member monthly and turned into the Finance Director. Completed requests will be added to the consent agenda for approval at the next regular board meeting. After board approval, payment will be added to the next regular payroll process.
2. Only list those meetings that you have attended. You are required to list the amount of meeting time you were in attendance. The amount paid is subject to the time you spent during the actual meeting. 1 to 60 minutes is reimbursed at \$50. Anything greater than 60 minutes is reimbursed at \$75.
3. Attendances at all day conferences/sessions are reimbursed as one meeting at \$75.

Mount Pleasant Fire Department

Fire Experience Report For Union Township/City of Mt. Pleasant
Period - April 15, 2019 through April 21, 2019


Category	Code	Description	Twp	Resp	City
Fire	100	Fire, Other			
	111	Building Fire			
	112	Fires in Structures other than a Building			
	113	Cooking Fire			
	114	Chimney or Flue Fire			
	116	Fuel Burner/Boiler Malfunction			
	118	Trash or Rubbish fire, contained			
	130	Mobile Property Fire, Other			
	131	Passenger Vehicle Fire			
	132	Road freight or transport vehicle fire			
	136	Self-propelled Motor Home/Recreational			
	137	Camper or Recreational Vehicle (RV) Fire			
	138	Off-road vehicle of heavy equipment fire			
	140	Natural Vegetation Fire			
	143	Grass/Brush fire			
	150	Outside Rubbish Fire, other			
	151	Outside Rubbish Fire, trash or waste fire			
	154	Dumpster Fire			
	160	Special Outside Fire, Other			
	Overpressure Rupture, (No Fire)	200	Overpressure rupture, explosion, overheat		
251		Excessive heat, scorch burns with no fire	1	11	1
231		Chemical reaction rupture of process vessel			
Rescue & EMS Incident	300	Rescue, EMS incident, other			
	311	Medical Assist to EMS Crew	1	2	
	321	EMS Call excluding Veh. Accident	2	4	
	322	Motor Vehicle Acc. W/ Injuries			1
	323	Motor Vehicle Acc/Pedestrian			
	324	Motor Vehicle Acc. W/no Injuries			
	331	Lock-In (If lock out use 551)			
	342	Search for Person in Water			
	352	Extrication of Victim (s) from vehicle			
	353	Remove Victim from Stalled Elevator			
	360	Water & Ice-related Rescue, Other			
	361	Swimming /recreational water area rescue			
	363	Swift Water Rescue			
	3811	Technical rescue standby			
Hazardous Condition (No Fire)	400	Hazard condition other			
	410	Combustible/Flammable Gas Condition			
	411	Gasoline or Other Flammable Spill			
	412	Gas Leak (natural gas or LPG)			
	413	Oil of Combustible Liquid Spill			
	420	Toxic Condition, Other			
	421	Chemical Hazard (No Spill or Leak)			

	422	Chemical Spill or Leak			
	423	Refrigeration Leak			
	424	Carbon Monoxide Incident			
	440	Electric Wiring/Equipment Problem	1	1	
	441	Heat from Short Circuit			
	442	Overheated Motor			
	443	Breakdown of Light Ballast			
	444	Power Line Down			
	445	Arcing, shorted electrical equipment			
	451	Biological hazard, confirmed or suspected			
	461	Building or Structure Weakened or Collapsed			
	462	Aircraft Standby			
	463	Vehicle Accident, general cleanup			
	480	Attempted burning, illegal action, other			
	4441	Utility Line Down			1
Service Call					
	500	Service Call - Other			
	510	Person in Distress			
	511	Lock-out			
	512	Ring or Jewelry removal			
	520	Water Problem, Other			
	521	Water Evacuation			
	522	Water of Steam Leak			1
	531	Smoke or Odor Removal			
	542	Animal Rescue			
	552	Police Matter			
	553	Public Service			
	555	Defective Elevator, No Occupants			
	561	Unauthorized Burning			1
	571	Cover assignment, standby, moveup			
Good Intent Call					
	600	Good Intent Call, Other			
	611	Dispatched and Cancelled en route			
	622	No Incident Found on Arrival			
	631	Authorized controlled burning			
	650	Steam, gas mistaken for smoke,			
	651	Smoke Scare, Odor of Smoke			
	653	Smoke from Barbecue, Tar Kettle			
	661	EMS call, party already transported			
	671	HazMat Investigation, no HazMat			
False Alarm & False Call					
	700	False Alarm, Other			
	710	Malicious, mischievous false call, other			
	715	Local Alarm System, Malicious False Alarm			
	721	Bomb Scare - No Bomb			
	730	System Malfunction			
	731	Sprinkler activation due to malfunction			
	732	Extinguishing System Activation - Malfunction			
	733	Smoke Det. Activation - Malfunction			
	734	Heat Detector Activation - Malfunction			
	735	Alarm system sounded due to malfunction			
	736	CO detector activation due to malfunction			

	740	Unintentional transmission of alarm, other			
	741	Sprinkler activation, no fire	1	2	
	743	Smoke Det. Activation - Unintentional			
	744	Detector activation, no fire			
	745	Alarm System Act. - Unintentional			
	746	Carbon Monoxide Activation, NO CO			
Severe Weather					
	812	Flood Assessment			
Special Incident Type	813	Wind Storm,Tornado/Hurricane Assessment			
	911	Citizen Complaint			
	9002	Civil Infraction Issued			
	9003	Affidavit Issued			
		Total Response for Union Twp/City	6		5
		YTD Response for Union Twp/City	101		147

 Emergency - MPFD

 Emergency - MPFD Secondary to MMR

 Non - Emergency

Mount Pleasant Fire Department

**Fire Experience Report For Union Township/City of Mt. Pleasant
Period - April 22, 2019 through April 28, 2019**


Category	Code	Description	Twp	Resp	City
Fire	100	Fire, Other			
	111	Building Fire			
	112	Fires in Structures other than a Building			
	113	Cooking Fire			
	114	Chimney or Flue Fire			
	116	Fuel Burner/Boiler Malfunction			
	118	Trash or Rubbish fire, contained			
	130	Mobile Property Fire, Other			
	131	Passenger Vehicle Fire	2	23	
	132	Road freight or transport vehicle fire			
	136	Self-propelled Motor Home/Recreational			
	137	Camper or Recreational Vehicle (RV) Fire			
	138	Off-road vehicle of heavy equipment fire			
	140	Natural Vegetation Fire			
	143	Grass/Brush fire	1	17	
	150	Outside Rubbish Fire, other			
	151	Outside Rubbish Fire, trash or waste fire			
154	Dumpster Fire				
160	Special Outside Fire, Other				
Overpressure Rupture, (No Fire)	200	Overpressure rupture, explosion, overheat			
	251	Excessive heat, scorch burns with no fire			
	231	Chemical reaction rupture of process vessel			
Rescue & EMS Incident	300	Rescue, EMS incident, other			
	311	Medical Assist to EMS Crew	1	3	6
	321	EMS Call excluding Veh. Accident			
	322	Motor Vehicle Acc. W/ Injuries	1	5	
	323	Motor Vehicle Acc/Pedestrian			
	324	Motor Vehicle Acc. W/no Injuries			
	331	Lock-In (If lock out use 551)			
	342	Search for Person in Water			
	352	Extrication of Victim (s) from vehicle			
	353	Remove Victim from Stalled Elevator			
	360	Water & Ice-related Rescue, Other			
	361	Swimming /recreational water area rescue			
	363	Swift Water Rescue			
3811	Technical rescue standby				
Hazardous Condition (No Fire)	400	Hazard condition other			
	410	Combustible/Flammable Gas Condition			
	411	Gasoline or Other Flammable Spill			
	412	Gas Leak (natural gas or LPG)			
	413	Oil of Combustible Liquid Spill			
	420	Toxic Condition, Other			
	421	Chemical Hazard (No Spill or Leak)			

	422	Chemical Spill or Leak			
	423	Refrigeration Leak			
	424	Carbon Monoxide Incident			
	440	Electric Wiring/Equipment Problem			
	441	Heat from Short Circuit			
	442	Overheated Motor			
	443	Breakdown of Light Ballast			
	444	Power Line Down	1	2	
	445	Arcing, shorted electrical equipment			
	451	Biological hazard, confirmed or suspected			
	461	Building or Structure Weakened or Collapsed			
	462	Aircraft Standby			
	463	Vehicle Accident, general cleanup			
	480	Attempted burning, illegal action, other			
	4441	Utility Line Down			
Service Call					
	500	Service Call - Other			
	510	Person in Distress			
	511	Lock-out			
	512	Ring or Jewelry removal			
	520	Water Problem, Other			
	521	Water Evacuation			
	522	Water of Steam Leak			
	531	Smoke or Odor Removal			
	542	Animal Rescue			
	552	Police Matter			
	553	Public Service			
	555	Defective Elevator, No Occupants			
	561	Unauthorized Burning	1	3	3
	571	Cover assignment, standby, moveup			
Good Intent Call					
	600	Good Intent Call, Other			
	611	Dispatched and Cancelled en route			
	622	No Incident Found on Arrival			
	631	Authorized controlled burning			
	650	Steam, gas mistaken for smoke,			
	651	Smoke Scare, Odor of Smoke			
	653	Smoke from Barbecue, Tar Kettle			
	661	EMS call, party already transported			
	671	HazMat Investigation, no HazMat			
False Alarm & False Call					
	700	False Alarm, Other			
	710	Malicious, mischievous false call, other			
	715	Local Alarm System, Malicious False Alarm			
	721	Bomb Scare - No Bomb			
	730	System Malfunction			
	731	Sprinkler activation due to malfunction			1
	732	Extinguishing System Activation - Malfunction			
	733	Smoke Det. Activation - Malfunction	2	5	
	734	Heat Detector Activation - Malfunction			
	735	Alarm system sounded due to malfunction	1	2	1
	736	CO detector activation due to malfunction			

	740	Unintentional transmission of alarm, other			
	741	Sprinkler activation, no fire			
	743	Smoke Det. Activation - Unintentional			
	744	Detector activation, no fire			
	745	Alarm System Act. - Unintentional	1	4	1
	746	Carbon Monoxide Activation, NO CO			
Severe Weather					
	812	Flood Assessment			
Special Incident Type	813	Wind Storm,Tornado/Hurricane Assessment			
	911	Citizen Complaint			
	9002	Civil Infraction Issued			
	9003	Affidavit Issued			
		Total Response for Union Twp/City	11		12
		YTD Response for Union Twp/City	112		159

 Emergency - MPFD

 Emergency - MPFD Secondary to MMR

 Non - Emergency

REQUEST FOR TOWNSHIP BOARD ACTION

To: Mark Stuhldreher Township Manager

DATE: 05/02/2019

FROM: Peter Gallinat Township Planner

DATE FOR BOARD CONSIDERATION: 05/08/2019

ACTION REQUESTED: Approve SUP 2019-02 located at S. Lincoln Rd for the expansion of existing self-storage building operation as a special use on the condition that a site plan is approved by the Township Planning Commission.

Current Action

Emergency _____

Funds Budgeted: If Yes _____ Account # _____ No _____ N/A X

Finance Approval _____

BACKGROUND INFORMATION

On March 27, 2019 the Board of Trustees adopted Zoning Map Amendment Ordinance 2019-02 to rezone a portion of R-3A (Multiple Family Residential District) property to B-5 (Highway Business District). The intent of the rezone was for the expansion of an existing self-storage operation as a special use. After the adoption of Ordinance 2019-02 application was made for a Special Use Permit.

On April 16, 2019 the Township Planning Commission held a public hearing for SUP 2019-02 for the expansion of an existing self-storage building special use operation. After receiving comment from the public hearing, the Planning Commission reviewed the application in accordance with sections 30.3 and 30.4.U from the Zoning Ordinance code.

After careful deliberation the Planning Commission recommended approval of SUP 2018-02 on the condition that a site plan be approved by the Planning Commission. Application for a site plan was made in addition to the SUP application. However, at that time the site plan was not reviewed or approved. The applicant is in the process of having the site plan approved at the May 21, 2019 Planning Commission meeting.

SCOPE OF SERVICES

N/A

JUSTIFICATION

SUP 2019-02 was reviewed and recommended for approval by the Township Planning Commission.

PROJECT IMPROVEMENTS

The following Board of Trustees goal is addressed with this request
(From Policy 1.0: Global End).

1. Commerce

COSTS

N/A

PROJECT TIME TABLE

The Special Use Permit if approved will remain valid with the property regardless of change in ownership. If the development of the project associated with the special use is not commenced within one (1) year of approval the permit may be reconsidered by the Planning Commission.

RESOLUTION

Authorization is hereby given to approve 2019-02 on the condition that a site plan is approved by the Township Planning Commission.

Resolved by _____ Seconded by _____

Yes:
No:
Absent:

APPLICATION FOR A SPECIAL USE PERMIT

I (we) McGuirk Mini Storage, Inc. OWNERS OF PROPERTY AT
See Attached Sheet LEGAL DESCRIPTION AS FOLLOWS:

See Attached Sheet



Respectfully request that a determination be made by the Township Board on the following request:

- I. Special Use For Amendment of Special Use request for Self-Storage Buildings
- II. Junk Yard Permit

Note: Use one of the sections below as appropriate. If space provided is inadequate, use a separate sheet.

I. Special Use Permit is requested for Amendment of Special Use request for Self-Storage Buildings previously approved; as an expansion of the previously approved S.U.P.

Give reason why you feel permit should be granted: See Attached Sheet

II. Junk Yard Permit requirements are:

Location of property to be used _____

Zoning of the area involved is B-5

Zoning of the abutting areas B-5 , R3-A and R-1



Fees 350.00 Signature of Applicant [Signature]

Date _____

AMENDED SPECIAL USE REQUEST FOR SELF STORAGE STRUCTURES

LEGAL DESCRIPTION OF THE PROPOSED B-5 DEVELOPMENT PARCEL:

SPECIAL USE PROPERTY DESCRIPTION

A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 20, T.14 N. - R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.00°-55'-57"E., ON AND ALONG THE EAST LINE OF SAID SECTION, 700.00 FEET; THENCE S.89°-42'-08"W., PARALLEL WITH THE NORTH LINE OF SAID SECTION, 1327.12 FEET TO A POINT ON THE EAST 1/8 LINE OF SAID SECTION AND THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S.00°-39'-12"E., ON AND ALONG SAID EAST 1/8 LINE, 622.35 FEET TO ITS INTERSECTION WITH THE NORTH 1/8 LINE OF SAID SECTION; THENCE S.89°-41'-58"W., ON AND ALONG SAID NORTH 1/8 LINE, 619.03 FEET; THENCE N.00°-55'-47"W., PARALLEL WITH SAID EAST SECTION LINE, 622.41 FEET; THENCE N.89°-42'-08"E., PARALLEL WITH SAID NORTH SECTION LINE, 622.03 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 8.87 ACRES OF LAND AND SUBJECT TO AND TOGETHER WITH ANY EASMENTS AND/OR RESTRICTIONS OF RECORD.

Summary of Request

Self-Storage Units are a Special Use within the B-5 District. Based on previous submittal to the Township for this use, we have utilized the B-5 zoned property to place this use. The proposed amended Special Use area will be approximately 700 feet off Remus Road. The portion of the parcel proposed to be utilize is 8.87 acres and will house 13 buildings (225 x 40) 9,000 sq. ft. each with a total area 117,000 sq. ft. of storage units when fully developed. The parcels for the proposed Special Use expansion are directly south of the 5.5 acres in the current S.U.P.

Please consider the following:

The following standards are to be utilized in evaluating if the SUP amended permit should be granted:

1. **The special use shall be designed, constructed, operated, and maintained in a manner harmonious with the character of adjacent property and the surrounding area.**
 - The focus of the relevant analysis is on whether or not the project is in harmony with surrounding zoned uses. The proposed development sets on the South side of Remus Road (M-20) in a commercial area, but has been tucked back off the road by approximately 700 feet. The proposed expansion is on B-5 zoned land to the south of the current currently approved S.U.P on 5.5 acres for self-storage. Thus, the Special Use shall be completely consistent with contemplated zoned uses, as well as existing uses.

- The S.U.P. request is consistent and harmonious with the zoned uses for the property, which is B-5 on the subject property. It is also harmonious with the adjacent approved use of self-storage on 5.5 acres of B-5 zoned property. Commercial and residential uses in the nearby community are the property uses most likely to need this type of self-storage and this places the proposed self-storage use in a convenient location that places less demand on roads, utilities and other public services.
- The overall site layout and the proposed buildings will be an asset to the surrounding commercial properties. The S.U.P. expansion will utilize the previously approved access management plan for the entire southwest corner of Lincoln and Remus. There will not be additional curb cuts as a result of this expansion. All drive isles will remain larger than those required by the ordinance for which the original 5.5-acre S.U.P. was approved.
- Where adjacent to a residential district there will be planting and screening to obscure view.
- The S.U.P. Application is also consistent with the Master Plan as follows:

SEE EXHIBIT A
- Accordingly, the S.U.P. meets the stated goals of harmony with planned future use of this area, as reflected in the Zoning Ordinance and the Master Plan.

2. The special use shall not change the essential character of the surrounding area.

- As stated above, the applicable analysis here is to compare the proposed use with the character of the surrounding area as contemplated in the Zoning Ordinance and Master Plan and not to compare the application to the current vacant condition. The surrounding use is mixed commercial and includes self-storage.
- The S.U.P. is completely consistent with the community's expectations as reflected in the Master Plan for the following reasons:
 1. The S.U.P. request is consistent and harmonious with the zoned uses for the property which are B5. Commercial and residential are the property uses most likely to need this type of self-storage and this places that use in a convenient location that places less demand on roads, utilities and other public services.
 2. The property is identified in the Master Plan as one of corridors for commercial/light industrial growth. See Exhibit A.
 3. Self-Storage meets the Master Plan's stated desire to accommodate residential rental property. See Exhibit A.
 4. Accordingly, the S.U.P. meets the stated goals of achieving harmony with planned future use of this area as reflected in the Zoning Code and the Master Plan.

The type of business and use which is being proposed is consistent with others along Remus (M-20), not just the current approved S.U.P on the 5.5 acres. It should be noted that there is another self-storage facility just east of this location at the corner of Remus and Bradley Street. That parcel is also zoned B-5.

3. The special use shall not interfere with the general enjoyment of adjacent property.

- The adjacent properties to the north, east, and west are either zoned commercial and/or zoned and operated as commercial.
- Enjoyment of adjacent property will not be affected for the following reasons:
 1. Applicant owns or will own the property on three sides of the SUP area.
 2. Property is zoned B-5 on three sides of the property.
 3. The project site will be screened with decorative wall and green space plantings and will be nearly unseen from adjacent properties.

4. The special use shall not be hazardous to adjacent property or involve uses, activities, materials, or equipment that will be detrimental to the health, safety, or welfare of persons or property through the excessive production of traffic, noise, smoke, odor, fumes, or glare.

- The proposed special use will not:
 1. Involve hazardous activity. No storage of hazardous materials or substances is permitted.
 2. Will not allow storage of any item that produces smoke, odor, fumes or glare.
 3. Will not be detrimental to health, safety or welfare.
- The expansion of the Special Use will utilize the access management plan developed in the original S.U.P. application. Which was based on our discussions with MDOT. Their preferred point of access for the parcel was out to Lincoln Road. Based on this, a Private Roadway was extended from the development east to Lincoln Road. This Roadway has been relocated to the South to allow more distance to the traffic light at Lincoln and Remus, while still abiding by the Isabella County Road Commission's Access Management Design Criteria. Appropriate screening has been shown around the parcel and a chain link fence will surround the parcel to provide security along with security cameras. The complex will have gated access points. The proposed operations will not pose a health, safety or welfare problem.

5. The special use shall be adequately served by essential public facilities and services; or it shall be demonstrated that the person responsible for the proposed special use shall be able to continually provide adequate services and facilities deemed essential to the special use under consideration. The said facilities or services shall be approved by the Central Michigan District Health Department.

- This special use is served by all necessary public and private utilities and services.
- The proposed use will contribute significantly to the Township's operational cost for public utilities.
- No special approval by health agencies is required.

- Further, the proposed development will be extending Public Water and its own Private Storm Sewer Services. Fire Flows were completed in the original S.U.P application by the Township DPW in conjunction with the Mt. Pleasant Fire Department on the Water System to assure that there is adequate flow and pressure for the system. The newly installed County Drain along Lincoln Road also has capacity for the proposed private system.

6. When deemed necessary by the Township Board or Planning Commission, the use shall be adequately screened by distance and landscaping to protect the rights of all adjoining property.

- This concern has been addressed by the screening of the project with a combination of natural screening, plantings and a decorative concrete wall.
- The expansion of the special use will be screened by decorative concrete wall and landscape elements, and is also screened by large wooded areas.
- Property to north, east and west is zoned B-5 and is bordered by M-20 to the north, all of which are appropriate for this special use.
- Property to south and east is owned (or will be owned) by the Applicant.

7. The Township Board or Planning Commission, in connection with approval of any application, may require reasonable undertaking by the applicant to guarantee and assure by agreement, including a performance bond to be posted by the applicant or by some other reasonable surety arrangement at appropriate stages of the planned development, that the development will be executed in accordance with the approved plan.

- The proposed expansion of the currently approved S.U.P. development, if approved will be constructed in compliance with the approved plans. The township has the ability to withhold final occupancy should this not occur.
- The special use will be screened by a decorative concrete wall and landscape elements, and is also screened by a large wooded area.
- Property to north, east and west is zoned B-5 and is bordered by M-20 to the north.
- Property to north, east and west is owned (or will be owned) by the Applicant.

8. That such use will be an asset to the Township.

- The proposed expansion of the currently approved S.U.P development constitutes a significant addition to the Applicant's previous multi-million-dollar investment into the community. The renderings show that the development will be an asset to the community and the surrounding area. This is a needed use for this community, based on the current demand at other facilities.

- This use will be an outstanding asset because:
 1. The project fulfills a public need for well-managed, aesthetically pleasing secure storage.
 2. High density residential which is contemplated for the area is typically bereft of storage space and this use will address that growing need in a proximal location.
 3. Tax base will be significantly increased.
 4. The project will provide additional use and funding base for other public services.

ADDITIONAL CONDITIONS SPECIFIC TO SELF-STORAGE

U. Self-Storage Buildings (Amended Ord 2000-10): Facilities used to provide temporary storage needs for business, apartment dwellers, and other individuals on a self-service basis subject to the following:

1. Allowed as a special use provided they are located in B-4 or B-5 Districts.

- Clearly this use is contemplated for the B-5 District in which it sits.

2. Provided they shall be architecturally designed so as not to have a flat roof, and shall instead have a mansard, gable, hip or gambrel roof design.

- See elevation drawings that demonstrate that this criterion is satisfied.

3. Provided they meet all required conditions of the B-4 or B-5 zone.

- All other B-5 conditions are addressed.

23.4 REQUIRED CONDITIONS B-5

A. Barrier: All development shall be physically separated from the local road by a curb and/or planting strip or other suitable barrier. Such barrier shall effectively eliminate un-channeled vehicle ingress or egress, except for unauthorized access ways.

- The site plan if approved by the Planning Commission shows that this criteria is satisfied.

B. Access Ways: Each separate use, grouping of buildings or grouping of uses as part of a single planned development, shall have at least two (2) access ways from a local road. Such access way shall not be located closer than eighty (80) feet to the point of an intersecting roadway of the local road centerline.

- The site plan if approved by the Planning Commission shows that this criteria is satisfied.

C. Review of Plans: Site plans for the highway service facilities shall be submitted to and shall be reviewed and approved by the Planning Commission, with respect to the above required conditions, and such other site related problems as it deems necessary to assure maximum traffic safety and to assure maximum protection to abutting properties.

- The site plan if approved by the Planning Commission shows that this criteria is satisfied.

D. All outdoor storage shall be in the rear yard and shall be completely screened with an obscuring wall or fence, not less than five (5) feet high, or with a chain link type fence. Greenbelt planting may be required so as to obscure all view from an adjacent residential or business District or from a public street.

- The site plan if approved by the Planning Commission shows that this criteria is satisfied.

E. See Section 29 for lot area, side yards, front yards, rear yards, etc.

No principal or accessory building shall be closer than forty (40) feet to the property line of any residential use or District. A planted landscape area of at least ten (10) feet in width, meeting the screening standards specified in Section 8.31, shall be provided in the required setback.

SECTION 29 SCHEDULES OF LOT, YARD, AND AREA REQUIREMENTS FOR B-5

Minimum Lot Frontage, Lot	100
Width (Feet)	
Minimum Lot Area (Square Feet)	16,000
Maximum Building Height (Feet)	35
Minimum Front Yard Setback (Feet)	50 (A,B)
Minimum Side Yard Setback (Feet)	20 (B)
Minimum Rear Yard Setback (Feet)	25 (A,B)
Maximum Lot Coverage (By All Buildings)	30%

Off-street parking shall be permitted to occupy a portion of the required front yard, provided that there shall be maintained a minimum unobstructed and landscaped setback of ten (10) feet between the nearest point of the off street parking areas, exclusive of access driveways and the nearest right-of-way line as indicated on the Major Thoroughfare Plan.

A lot in the B-4 and B-5 District will provide a side and rear yard of at least forty (40) feet when abutting a residential District.

- The site plan if approved by the Planning Commission shows that this criteria is satisfied.

8.31 SCREENING PROVISIONS

- The site plan if approved by the Planning Commission shows that this criteria is satisfied.

4. All entrances and exits shall be designed in accordance with the Isabella County Road Commission requirements. It is further required that all sites shall provide points of ingress and egress that are located upon a public road. Local traffic movement shall be accommodated within the site so the entering and exiting vehicles will make normal and uncomplicated movements into or out of the public road.

- Traffic easily flows in and out of Lincoln Road.
- The site plan if approved by the Planning Commission shows that this criteria is satisfied.

5. Greenbelt planting and screening will be required so as to obscure view from any adjacent residential District. Screening will also be required where property is within two hundred fifty (250) feet of any residentially zoned property. Screening shall consist of non-deciduous trees, not less than three (3) feet in height, planted and maintained in live condition not less than fifteen (15) feet on centers.

- The Site Plan if approved by the Planning Commission demonstrates that this criteria is satisfied.

6. Maximum length of any self-storage building shall be two hundred fifty (250) feet.

- See Site Plan, each building will not exceed the 225 feet.
- The site plan if approved by the Planning Commission shows that this criterion is satisfied.

7. No storage of combustible or flammable liquids, combustible fibers, or explosive materials, as defined in the fire prevention code, or toxic materials shall be permitted within the self-storage building or upon the premises.

- These items are prohibited in the self-storage area.

8. No storage outside of the self-storage buildings shall be permitted.

- Applicant intends to comply with all applicable conditions and will comply with all zoning requirements.

The use of the premises shall be limited to storage only and shall not be used for operating any other business, for maintaining or repairing of any vehicles, recreational equipment or other

items, for any recreational activity, hobby, or purpose other than the storage of personal items and business items as herein before set forth.

- Applicant intends to comply with all applicable conditions and will comply with all zoning requirements. There is no outdoor self-storage on the premises.

10. All entries, drives and parking areas shall be hard surfaced and shall provide drainage and grading to move storm water away from the storage units.

- Applicant intends to comply with all applicable conditions and will comply with all zoning requirements.

Exhibit A

Compliance with the Master Plan

Plan Goals and Objectives

The proposed expansion of the self-storage facility meets the goals and plan guidelines of the Charter Township of Union's Master Plan. Specifically, the expansion of the existing self-storage use meets the Plan Goals and Objectives as discussed on page 7 of the Master Plan.

Goal 1: Preserve and protect key natural and agricultural resources

1.2. Coordinate utility expansion in a way that encourages development along existing arterial roadways and on vacant or underutilized sites first.

The current development utilizes the uses that are in place along the M-20 corridor. The proposed project provides a needed service with very little demand of the current utility capacity.

1.3. Preserve areas suitable for farming and agriculture-related uses

This proposed expansion utilizes existing B-5 zoned property and does not utilize agricultural zoned lands.

Goal 2: Create a safe, balanced and coordinated multi-modal transportation system adequate to accommodate the ongoing growth and (re)development of Union Township.

The proposed expansion will utilize the current access management plan developed for the southwest corner of the Lincoln and Remus intersection. Specifically, the expansion will utilize the internal interconnected road and not create additional entrances on Remus, in contrast to what could be proposed by a different, more intense, use.

Goal 3: Maintain a well-organized, balanced and efficient use of land in the Township.

3.2. Continue to encourage quality office and commercial development and redevelopment along corridors.

The current self-storage development is commercial in nature and the proposed expansion does nothing to change that. The development is also a continuation of such commercial development along a recognized corridor.

3.3. Encourage sensible, sustainable, diverse, high-quality office, commercial and industrial development in designated areas to ensure employment opportunities remain supported by the community's existing and reasonably anticipated future infrastructure.

The current development has mixed uses including office, commercial and self-storage. It meets the current zoning requirements. The proposed expansion is in an area contiguous that is identified in the Master Plan for future use as Commercial/Light Industrial. This expansion will only encourage future development and together will help foster more employment opportunities within the current and expected future infrastructure.

Future Land use Guidelines

The proposed expansion also has many of the factors necessary to meet the guidelines for future land use planning as provided for in the Master Plan. The Master Plan provides that:

“Zoning decisions should gradually establish greater conformity between the Zoning Map and the Future Land Use Plan. The Future Land Use Map should be carefully considered to ensure consistency is maintained when making decisions on planning and development matters; community changes which directly conflict with the Future Land Use Map could undermine the long-term objectives of the township and should be avoided.”

The following factors are to be considered and for the following reason the proposed expansion meets the spirit of the factors:

- Existing land use - Wholesale changes to the existing land use pattern would be difficult. The locations of most existing commercial and industrial developments are appropriate, and the community land use patterns have evolved around these existing land uses.

The current development includes self-storage in the adjacent B-5 zoning district. The expansion will utilize the same zoning district and same use.

- Relationship of incompatible uses - The future land use plan strives to diminish incompatible land use relationships by providing a transition of land uses, such as offices between retail and single-family residential areas.

The future land use is for Commercial/Light Industrial and contemplates the current zoning, B-5, as compatible. See page 45 of the Master Plan.

- Natural features - The types of development and allowable density shown on the future land use map were determined by the location and extent of natural features. For example, lower overall development densities are proposed for properties containing significant wetland areas to encourage clustering in buildable areas.

Again, the future land use is for Commercial/Light Industrial and contemplates the current zoning, B-5, as compatible. See page 45 of the Master Plan.

- Infrastructure - The density of residential uses and the location of land uses such as industrial and commercial are dependent on the availability and the capacity of the infrastructure system. Portions of the Township are currently served, or are planned to be served, by public water and sewer. The capacity of the road network defines the intensity of uses that may be served without adversely impacting traffic operations. The availability of community facilities such as schools, recreational facilities, police and fire protection places bounds on service to land use, particularly residential density. For this reason, this plan includes a growth boundary.

The current use and proposed use will utilize the same access points as were provided for in the current uses site plan. This access management plan utilizes internal roads and limits curb cuts. The proposed expansion use of the self-storage provides tax revenue without utilizing hardly any water or other utility infrastructure or capacity. The location of the development is

currently and, as identified in the Master Plan, planned for such use. In no small part is that true because of the existence of a state highway and quality local road.

Future Land Use Planning Principles

The following Future land use principles as outlined by the Master Plan are identifiable as part of this project.

- Continue to sustain the overall residential and rural character of the township.

The project does not consume residential or rural zoned land. It utilizes an identified commercial corridor.

- Provide an attractive business environment and opportunities for businesses to expand the economic diversity of Union Township and contribute to the overall economic strength.

The proposed development only enhances the current investment and mixed use on the overall development property owned or affiliated with the applicant. It is a continuation of the applicant's desire to provide a service that is needed throughout the entire community, further contributing to its overall economic strength.

- Ensure the transition from one use or grouping of uses to another is compatible with surrounding uses through screening and buffering.

The proposed project will utilize all required screening and buffering.

- Promote systematic development of residential, commercial, and industrial uses in specific areas and corridors as recommended to take advantage of existing infrastructure and future improvements.

The proposed S.U.P. expansion does exactly that.

Peter Gallinat

From: Riverwood <reservations@riverwoodresort.com>
Sent: Monday, April 15, 2019 4:04 PM
To: Peter Gallinat
Subject: Arboretum Apartments request Screening - regarding Special use permit 4/16/19 P.C. meeting

To the Township Planning Commissioners:

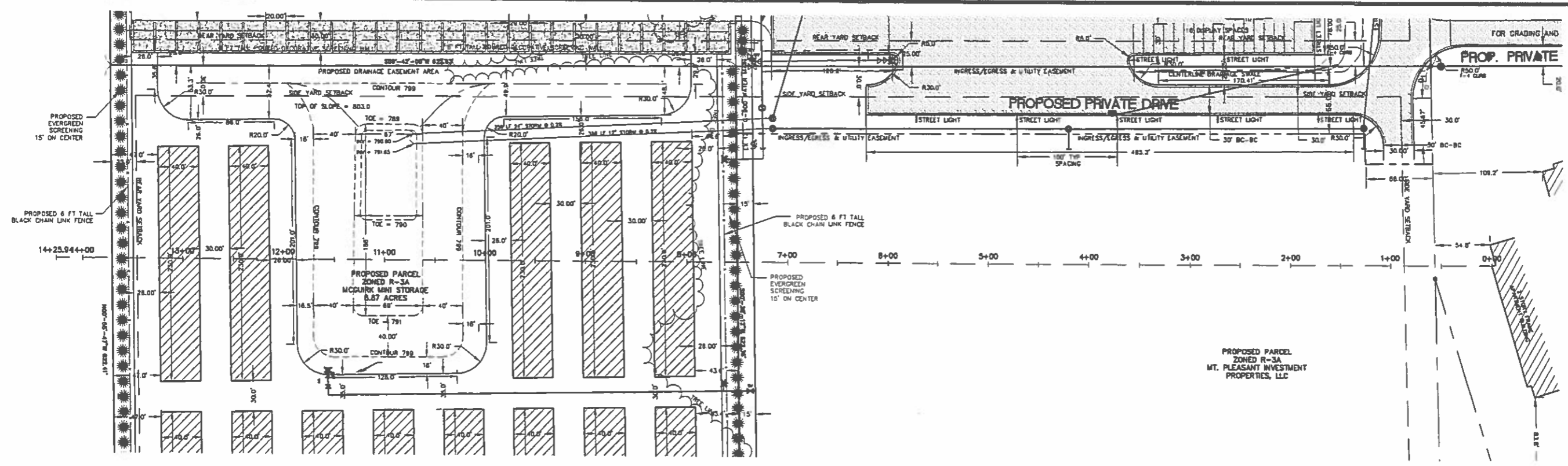
In regards to the Special Use Permit Amendment to expand the self storage operation; If this is to pass, we at Arboretum Apartments are requesting to make sure this time, that there is Architecturally sound Screening of Evergreens that are a minimum of 6-10 feet tall put all around the North and West sides of the Apartments. The road that comes in off Lincoln Road that services the Storage buildings and the sand and gravel business, has many noisy trucks and lights from vehicles shining directly into residents apartments. Proper evergreen screening was not put in originally and with the addition of more storage buildings will bring more traffic going in and out this road by the apartments. We need this to be screened properly for the sake of the residents.

Thank you.

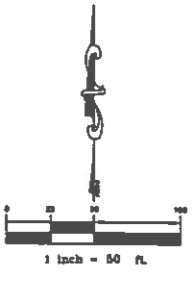
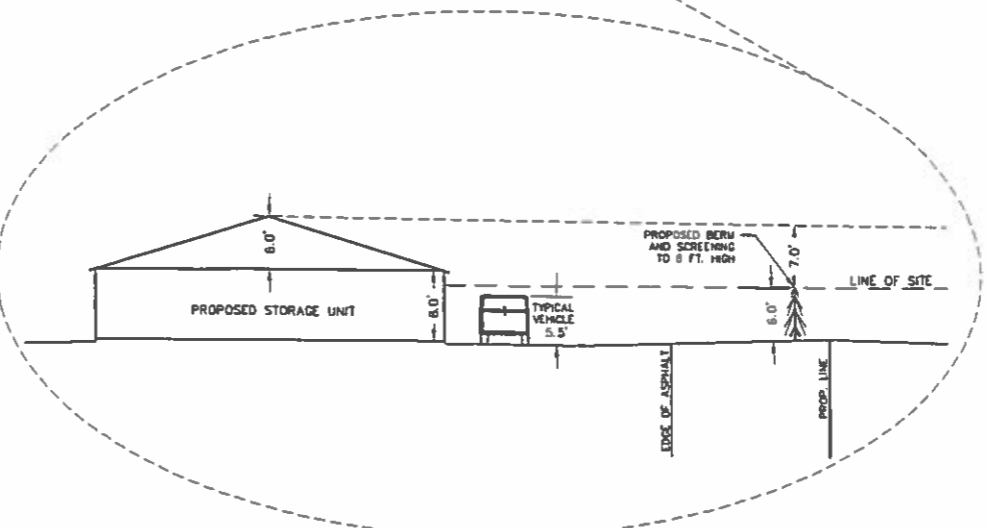
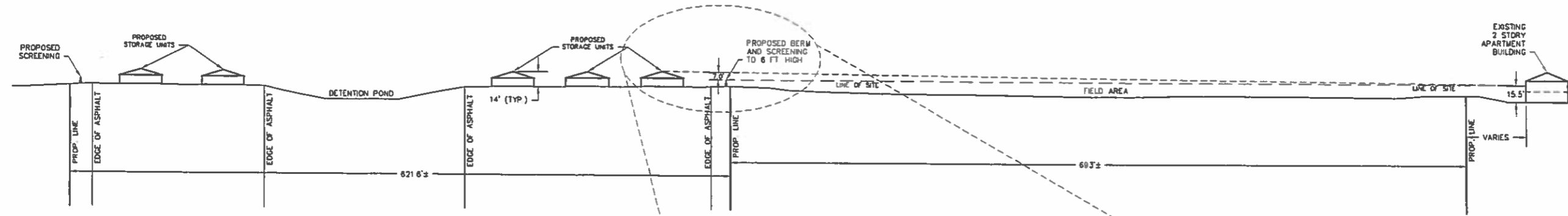
Terri Sommerville
Arboretum Apartments

Riverwood Resort
1313 E. Broomfield Road
Mt. Pleasant, MI 48858
989-772-5726 phone
989-773-5346 fax





HORIZONTAL SCALE 1" = 50'
VERTICAL SCALE 1" = 1'



CMS & D
SURVEYING / ENGINEERING
510 W. PICKARD STREET - SUITE C
MT. PLEASANT, MICHIGAN 48858
PHONE: (889) 775-0756
FAX: (889) 775-5012
EMAIL: info@cms-d.com



SITE CROSS-SECTION
MCGUIRK MINI STORAGE INC.
PART OF THE NORTHEAST 1/4
SECTION 20, T14N-R4W
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

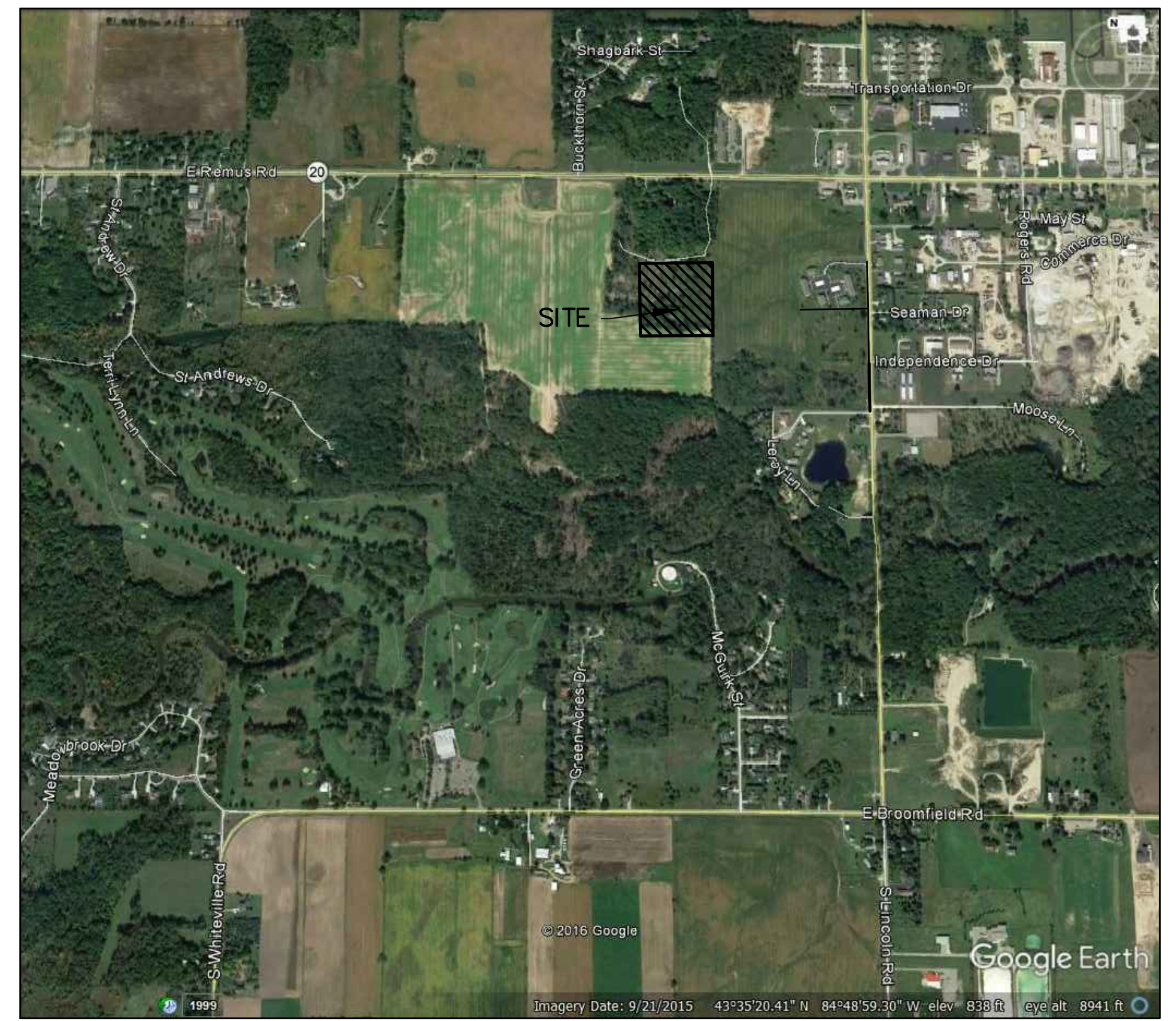
SCALE:	1" = 50'
SHEET NUMBER:	1 OF 1
JOB NUMBER:	1808-082
DRAWN BY:	WRE
DESIGNED BY:	N/A
CHECKED BY:	TELB
REVISIONS:	
SUBMITTALS:	SUBMITTAL TO TOWNSHIP 4-12-19

SITE PLAN FOR COMMERCIAL PROPERTY LINCOLN RD. & E. REMUS RD. (M-20)

CMS & D
SURVEYING / ENGINEERING
2257 E. BROOMFIELD RD.
MT. PLEASANT, MICHIGAN 48858
PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com



COVER SHEET
MCGUIRK MINI STORAGE INC.
PART OF THE NORTHEAST 1/4
SECTION 20, T14N-R4W
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN



PART OF THE NORTHEAST 1/4, SECTION 20, T14N-R4W,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN
LOCATION MAP
NOT TO SCALE

B-5 ZONE	
MINIMUM FRONT YARD SETBACK	50 FT (A,B)
MINIMUM SIDE YARD SETBACK	20 FT (B)
MINIMUM REAR YARD SETBACK	25 FT (A,B)
MINIMUM LOT FRONTAGE	100 FT
MINIMUM LOT AREA (SQ FT)	16,000 SQ FT
MAXIMUM BUILDING HEIGHT	35 FT
MAXIMUM LOT COVERAGE (%)	30%

- A. OFF-STREET PARKING SHALL BE PERMITTED TO OCCUPY A PORTION OF THE REQUIRED FRONT YARD, PROVIDED THAT THERE SHALL BE MAINTAINED A MINIMUM UNOBSTRUCTED AND LANDSCAPED SETBACK OF TEN (10) FEET BETWEEN THE NEAREST POINT OF THE OFF-STREET PARKING AREAS, EXCLUSIVE OF ACCESS DRIVEWAYS AND THE NEAREST RIGHT-OF-WAY LINE AS INDICATED ON THE MAJOR THOROUGHFARE PLAN.
- B. A LOT IN THE B-5 DISTRICT WILL PROVIDE A SIDE AND REAR YARD OF AT LEAST FORTY (40) FEET WHEN ABUTTING A RESIDENTIAL DISTRICT.

MISS DIG:
FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL "MISS DIG" 1-800-482-7171 A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY EXCAVATION. ALL "MISS DIG" PARTICIPATING MEMBERS WILL BE APPROPRIATELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

UTILITY NOTE:
THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY COMPANY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE LOCATION AND DEPTH OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-282-7171) PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL MAKE EVERY EFFORT TO PROTECT AND OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND. UNDERGROUND SERVICE LEADS FOR GAS, ELECTRIC, TELEPHONE, AND CABLE MAY BE ACROSS PROPERTY, NO INFORMATION AVAILABLE PLEASE CALL MISS DIG.

SHEET INDEX	
1	COVER SHEET
2	EXISTING TOPOGRAPHY 60 SCALE
3	EXISTING TOPOGRAPHY 40 SCALE
4	SITE/UTILITY PLAN

FLOOD ZONE CERTIFICATION:
A PORTION OF SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF A BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 26073C0305D WITH AN EFFECTIVE DATE OF FEBRUARY 5, 2014 FOR ISABELLA COUNTY, MICHIGAN COMMUNITY NO. 260812 IN UNION CHARTER TOWNSHIP, ISABELLA COUNTY, STATE OF MICHIGAN WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED.

BENCHMARKS:
BENCHMARK #1: FOUND AN ALUMINUM MICHIGAN DEPARTMENT OF TRANSPORTATION HEIGHT MODERNIZATION MARK DISK SET IN THE TOP OF A 12 INCH DIAMETER CONCRETE POST. LOCATION IS AT THE SOUTH EAST CORNER OF THE LINCOLN ROAD AND REMUS ROAD (M-20) INTERSECTION. ELEVATION 786.62

BEARING BASIS:
PER GEODETIC OBSERVATION WGS-84 THE BEARING BETWEEN THE NORTHEAST CORNER AND THE NORTH 1/4 CORNER OF SECTION 20, T14N-R4W WAS DETERMINED TO BE S89°-42'-08"W.

SITE: PART OF THE NORTHEAST 1/4 OF SECTION 20, T.14 N. - R.04 W., UNION TOWNSHIP, ISABELLA COUNTY.

CLIENT: MCGUIRK MINI STORAGE
3046 JENS WAY
MT. PLEASANT, MI 48858
CONTACT: CHUCK MCGUIRK
PHONE: (989) 772-1309

CONSULTANT: CENTRAL MICHIGAN SURVEYING & DEVELOPMENT CO., INC.
2257 EAST BROOMFIELD ROAD
MT. PLEASANT, MI 48858
CONTACT PERSON: TIMOTHY E BEBEE
PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com

<p>CHARTER COMMUNICATIONS 915 E. BROOMFIELD ROAD MT. PLEASANT, MI 48858 (989) 621-4932 RANDY BUNKER rbunker@chartercom.com</p> <p>CONSUMERS ENERGY 1325 WRIGHT AVENUE ALMA, MI 48801 (989) 466-4282 KIM STUDDT kimberly.studdt@cmsenergy.com</p> <p>FRONTIER 345 PINE STREET ALMA, MI 48801 (989) 463-0392 MARK A. MARSHALL Mark.Marshall@ftr.com</p> <p>DTE ENERGY 4420 44TH ST., S.E., SUITE B KENTWOOD, MI 49512 (616) 954-4623 MARY JO MCKERSIE mckersiem@dteenergy.com</p> <p>MT. PLEASANT FIRE DEPARTMENT 804 EAST HIGH STREET MT. PLEASANT, MI 48858 (989) 779-5100 EXT 5122 SGT. RANDY KEELER rkeeler@mt-pleasant.org</p>	<p>CHARTER TOWNSHIP OF UNION PUBLIC WATER/PUBLIC SEWER 2010 N. LINCOLN ROAD MT. PLEASANT, MI 48858 (989) 772-4600 EXT 24 KIM SMITH ksmith@uniontownshipmi.com</p> <p>CHARTER TOWNSHIP OF UNION PLANNING & ZONING 2010 NORTH LINCOLN ROAD MT. PLEASANT, MI 48858 (989) 772-4600 EXT 241 PETER GALLINAT pgallinat@uniontownshipmi.com</p> <p>DRAIN COMMISSIONERS OFFICE ISABELLA COUNTY BUILDING 200 NORTH MAIN STREET ROOM 140 MT. PLEASANT, MI 48857 (989) 773-7131 EXT 115 PATRICK GAFFNEY Pgaffney@isabellaroads.com</p> <p>ISABELLA COUNTY ROAD COMMISSION 2261 EAST REMUS ROAD MT. PLEASANT, MI 48858 (989) 773-7131 EXT 115 PATRICK GAFFNEY Pgaffney@isabellaroads.com</p>
--	---

EXISTING R-3A PARCEL DESCRIPTION: PROPOSED REZONE TO B-5:
A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 20, T.14 N. - R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.00°-55'-57"E., ON AND ALONG THE EAST LINE OF SAID SECTION, 700.00 FEET; THENCE S.89°-42'-08"W., PARALLEL WITH THE NORTH LINE OF SAID SECTION, 1327.12 FEET TO A POINT ON THE EAST 1/8 LINE OF SAID SECTION AND THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S.00°-39'-12"E., ON AND ALONG SAID EAST 1/8 LINE, 622.35 FEET TO ITS INTERSECTION WITH THE NORTH 1/8 LINE OF SAID SECTION; THENCE S.89°-41'-58"W., ON AND ALONG SAID NORTH 1/8 LINE, 619.03 FEET; THENCE N.00°-55'-47"W., PARALLEL WITH SAID EAST SECTION LINE, 622.41 FEET; THENCE N.89°-42'-08"E., PARALLEL WITH SAID NORTH SECTION LINE, 622.03 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 8.87 ACRES OF LAND AND SUBJECT TO AND TOGETHER WITH ANY EASMENTS AND/OR RESTRICTIONS OF RECORD.

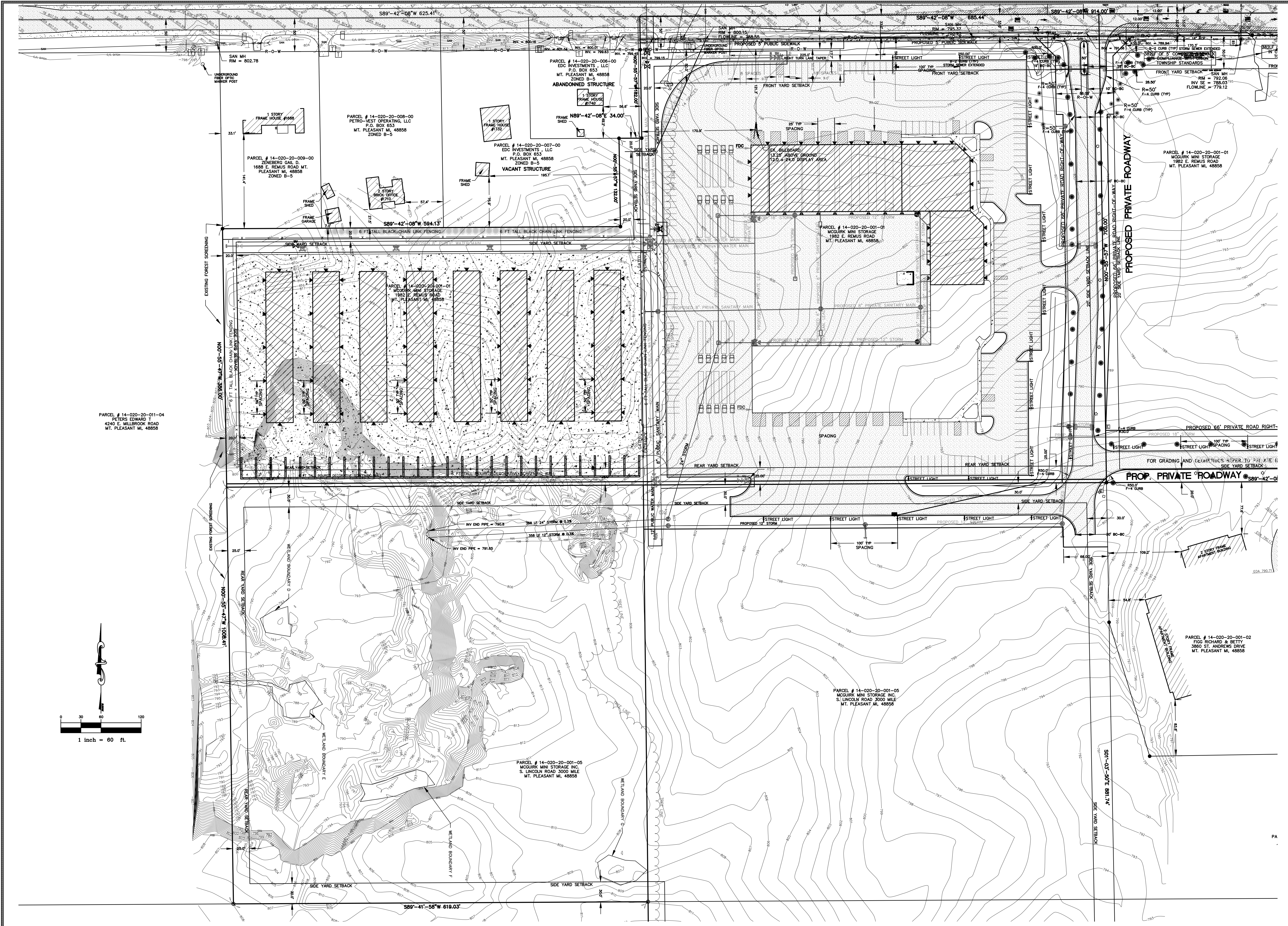
LEGEND		
SYMBOLS		
○ BOLLARD	☐ GAS RISER	⊙ SOIL BORING
▭ CATCH BASIN (CURB INLET)	⌵ GUY ANCHOR	⊕ STORM SEWER MANHOLE
⊙ CATCH BASIN (ROUND)	⊗ HYDRANT - EXISTING	☐ TELEPHONE RISER
⊠ CATCH BASIN (SQUARE)	⊗ HYDRANT - PROPOSED	● TREE - CONIFEROUS
○ CLEAN OUT	⊕ LIGHT POLE	● TREE - DECIDUOUS
→ DRAINAGE FLOW	☐ MAILBOX	⊕ UTILITY POLE
☐ ELECTRICAL BOX	⊕ MONITORING WELL	⊕ WATER MAIN VALVE
● FOUND CONC. MONUMENT	⊕ SANITARY SEWER MANHOLE	⊕ WATER SHUT-OFF
○ FOUND IRON	● SET IRON	⊕ WATER WELL
⊕ GAS MAIN VALVE	— SIGN	☐ WOOD STAKE

LINETYPES	
— ELEC. —	BURIED ELECTRICAL CABLE
— PHONE —	BURIED TELEPHONE CABLE
— DITCH-CL —	CENTERLINE OF DITCH
— FM —	FORCE MAIN
— GAS —	GAS MAIN
— RD-CL —	ROAD CENTERLINE
— 8" SAN —	SANITARY SEWER
— 12" SS —	STORM SEWER
— EX-TOS —	TOE OF SLOPE
— EX-TOB —	TOP OF BANK
— OHE —	UTILITIES - OVERHEAD
— UTL —	UTILITIES - UNDERGROUND
— 12" WM —	WATER MAIN

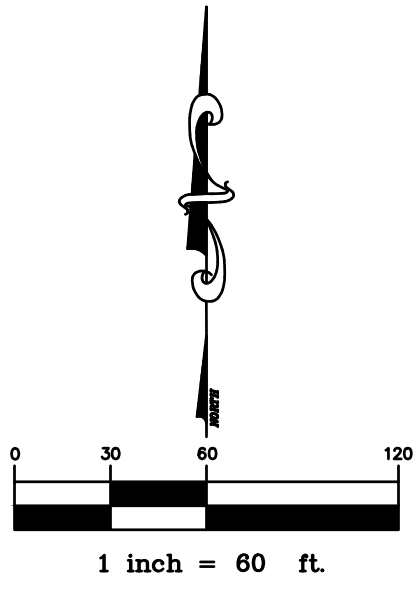
HATCH PATTERNS	
	ASPHALT - EXISTING
	ASPHALT - PROPOSED
	CONCRETE
	GRAVEL
	LANDSCAPING
	RIP-RAP

SUBMITTALS: SUBMITTAL TO TOWNSHIP 3-28-19

JOB NUMBER:	1808-082
SCALE:	N/A
DRAWN BY:	WRE
DESIGNED BY:	N/A
CHECKED BY:	TEL
SHEET NUMBER:	1 OF 4



PARCEL # 14-020-20-011-04
 PETERS EDWARD
 4240 E. MILLBROOK ROAD
 MT. PLEASANT MI, 48858



CMS & D
 SURVEYING / ENGINEERING
 2257 E. BROOMFIELD RD.
 MT. PLEASANT, MICHIGAN 48858
 PHONE: (989) 775-0756
 FAX: (989) 775-5012
 EMAIL: info@cms-d.com



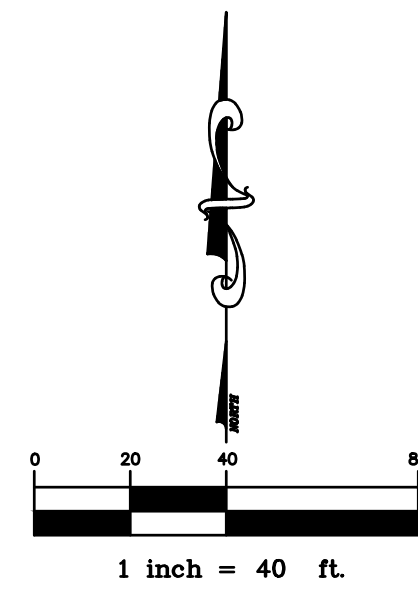
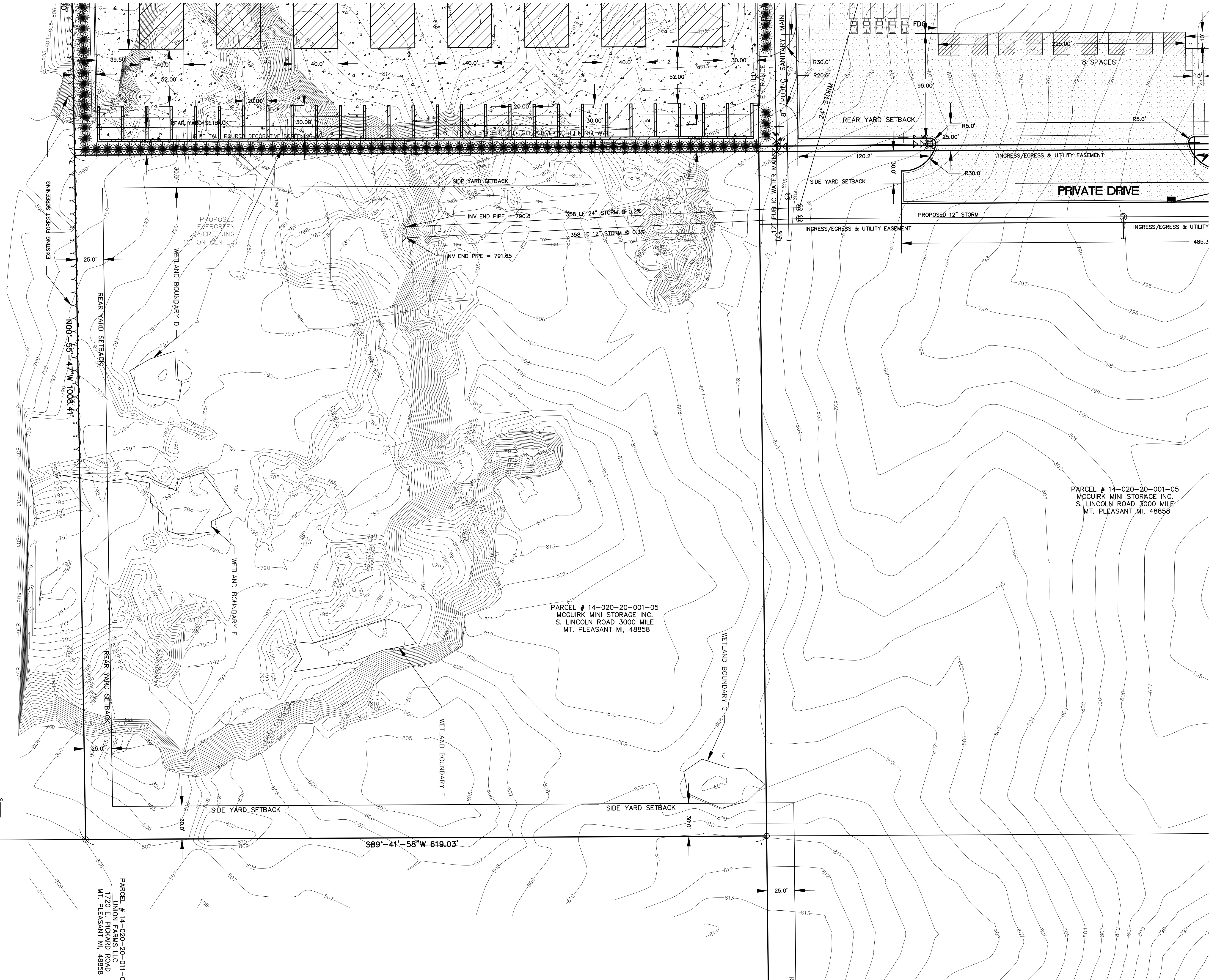
EXISTING TOPOGRAPHY 60 SCALE
 MCGUIRK MINI STORAGE INC.
 PART OF THE NORTHEAST 1/4
 SECTION 20, T14N-R4W
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:

JOB NUMBER:	1808-082
DRAWN BY:	WRE
DESIGNED BY:	N/A
CHECKED BY:	TELB

SCALE	1" = 60'
SHEET NUMBER	2 OF 4
SUBMITTALS:	SUBMITTAL TO TOWNSHIP 3-28-19

PARCEL # 14-020-20-011-04
 PETERS EDWARD T
 4240 E. MILLBROOK ROAD
 MT. PLEASANT MI, 48858



PARCEL # 14-020-20-011-C
 UNION FARMS LLC
 1720 E. PICKARD ROAD
 MT. PLEASANT MI, 48858

PARCEL # 14-020-20-001-05
 MCGUIRK MINI STORAGE INC.
 S. LINCOLN ROAD 3000 MILE
 MT. PLEASANT MI, 48858

PARCEL # 14-020-20-001-05
 MCGUIRK MINI STORAGE INC.
 S. LINCOLN ROAD 3000 MILE
 MT. PLEASANT MI, 48858

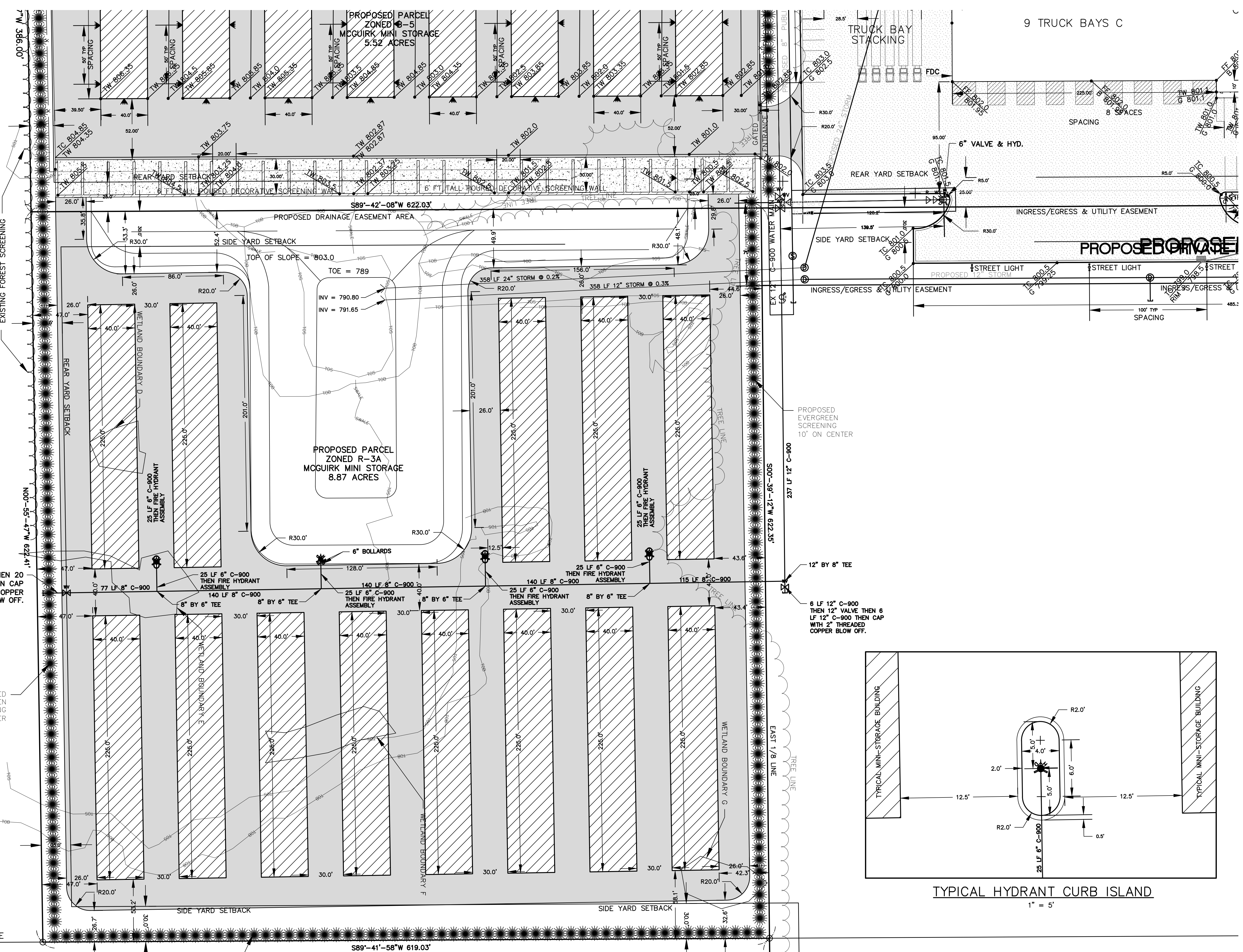
CMS & D
 SURVEYING / ENGINEERING
 2257 E. BROOMFIELD RD.
 MT. PLEASANT, MICHIGAN 48858
 PHONE: (989) 775-0756
 FAX: (989) 775-5012
 EMAIL: info@cms-d.com



EXISTING TOPOGRAPHY 40 SACLE
 MCGUIRK MINI STORAGE INC.
 PART OF THE NORTHEAST 1/4
 SECTION 20, T14N-R4W
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

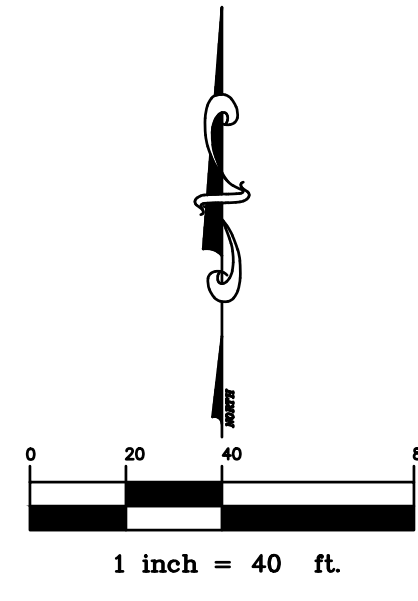
SCALE	1" = 40'
SHEET NUMBER	3 of 4
JOB NUMBER:	1808-082
DRAWN BY:	WRE
DESIGNED BY:	N/A
CHECKED BY:	TELB
SUBMITTALS:	SUBMITTAL TO TOWNSHIP 3-26-19
REVISIONS:	

PARCEL # 14-020-20-011-00
 UNION FARMS LLC
 1720 E. PICKARD ROAD
 MT. PLEASANT MI, 48858
 ZONED B-5



INSTALL 8" VALVE, THEN 20 LF OF 8" C-900, THEN CAP WITH 2" THREADED COPPER BLOW OFF.

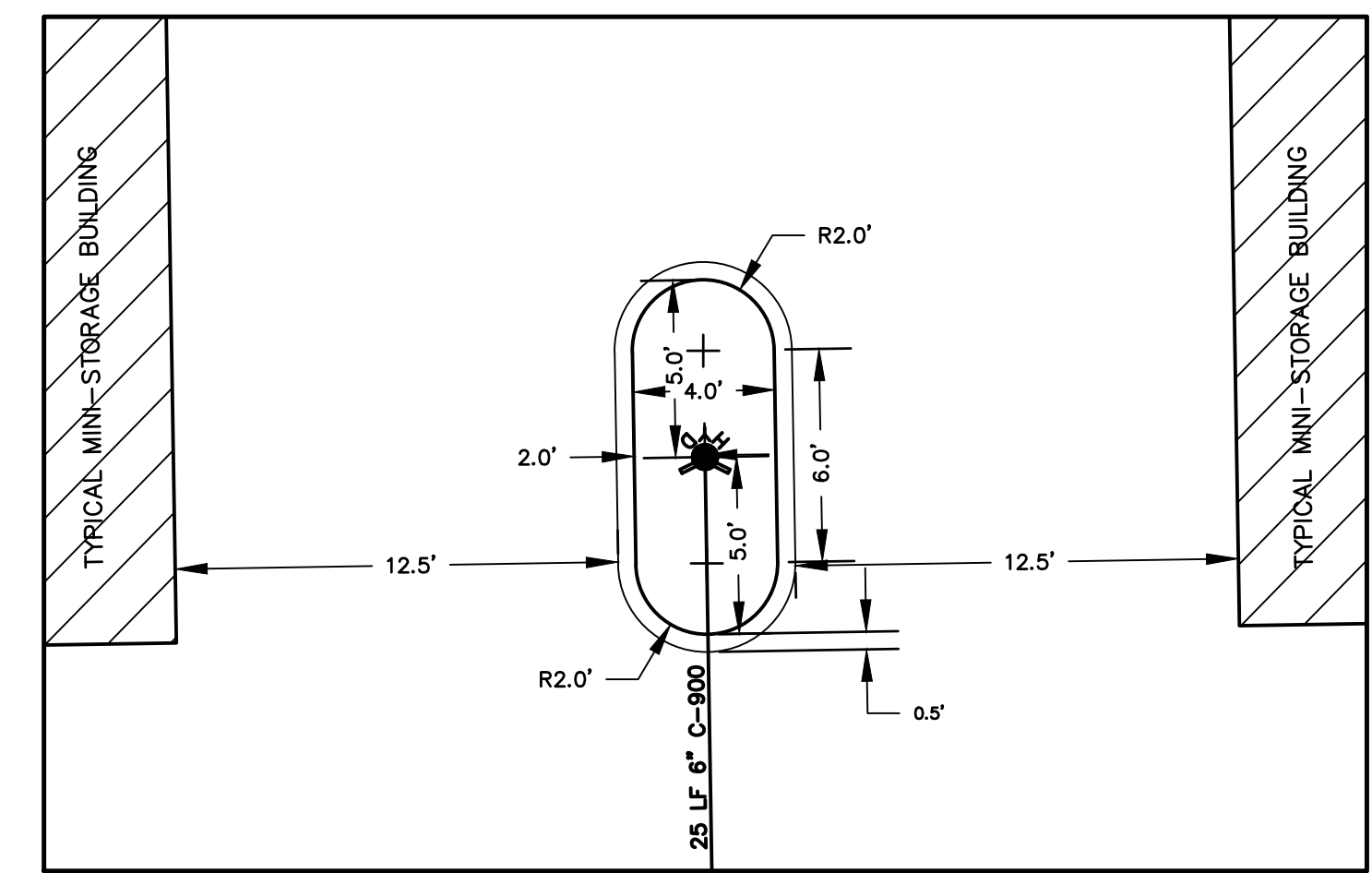
PROPOSED EVERGREEN SCREENING 10' ON CENTER



NORTH 1/8 LINE

PARCEL # 14-020-20-011-00
 UNION FARMS LLC
 1720 E. PICKARD ROAD
 MT. PLEASANT MI, 48858

PROPOSED EVERGREEN SCREENING 10' ON CENTER



TYPICAL HYDRANT CURB ISLAND

1" = 5'

CMS & D
 SURVEYING / ENGINEERING
 2257 E. BROOMFIELD RD.
 MT. PLEASANT, MICHIGAN 48858
 PHONE: (989) 775-0756
 FAX: (989) 775-5012
 EMAIL: info@cms-d.com



SITE PLAN
 MCGUIRK MINI STORAGE INC.
 PART OF THE NORTHEAST 1/4
 SECTION 20, T14N-R4W
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:	
SUBMITTALS:	SUBMITTAL TO TOWNSHIP 3-26-19
JOB NUMBER:	1808-082
DRAWN BY:	WRE
DESIGNED BY:	XXX
CHECKED BY:	TELB
SCALE:	1" = 40'
SHEET NUMBER:	4 OF 4

A. General Requirements for Special Uses: The applicant shall follow these requirements and recommendations made by the Planning Commission after their review. The general requirements for all special uses are as follows:

1. The special use shall be designed, constructed, operated, and maintained in a manner harmonious with the character of adjacent property and the surrounding area.
2. The special use shall not change the essential character of the surrounding area.
3. The special use shall not interfere with the general enjoyment of adjacent property.
4. The special use shall not be hazardous to adjacent property or involve uses, activities, materials, or equipment that will be detrimental to the health, safety, or welfare of persons or property through the excessive production of traffic, noise, smoke, odor, fumes, or glare.
5. The special use shall be adequately served by essential public facilities and services; or it shall be demonstrated that the person responsible for the proposed special use shall be able to continually provide adequate services and facilities deemed essential to the special use under consideration. The said facilities or services shall be approved by the Central Michigan District Health Department.
6. When deemed necessary by the Township Board or Planning Commission, the use shall be adequately screened by distance and landscaping to protect the rights of all adjoining property.
7. The Township Board or Planning Commission, in connection with approval of any application, may require reasonable undertaking by the applicant to guarantee and assure by agreement, including a performance bond to be posted by the applicant or by some other reasonable surety arrangement at appropriate stages of the planned development, that the development will be executed in accordance with the approved plan.
8. That such use will be an asset to the Township.
9. Requirements and conditions of each individual special use permitted shall be complied with, unless otherwise mentioned within this Section.
10. Any special use permit may be revoked by the Union Township Board upon recommendation of the Union Township Planning Commission whenever the operation fails to comply with any of the required conditions or may be subject to the penalties of this Ordinance.
 - a) Approval of a special use permit shall be valid regardless of change of ownership, provided that all terms and conditions of the permit are met by any subsequent owner.
 - b) In instances where development authorized by a special use permit has not commenced within one (1) year from the date of issuance, the permit maybe reconsidered and/or voided at a regularly called meeting of the Planning Commission.

30.4 SPECIAL USES PERMITTED (X, NEW, 1993-6 ORDINANCE; Y, NEW, 1995-6 ORDINANCE)

The following special uses may be permitted within the specified Districts:

A. Adult Entertainment Activities: (Deleted as Special Use Permit, Ord 2005-03)

B. Airports, Public or Private, Provided:

8. All truck operations shall be directed away from residential streets, whenever practical.
9. All permit applications for excavations must be co-signed by landowner and operator.

T. Second Living Quarters on a Farm: The use of a second single-family dwelling unit or one (1) two-family dwelling unit as a second living quarters on a farm may be permitted for a member, or members, of the owner's family or for an unrelated family having permanent employment on the farm, provided:

1. Allowed as a special use provided they are located in AG Districts.
2. Lot area requirements of AG District are met.
3. No dwelling permitted under this section may be located in a front yard space of the principal dwelling or closer to the front lot line than fifty (50) feet.
4. A dwelling shall be no closer than thirty (30) feet to the rear or side wall of the principal dwelling on the premises or closer than thirty (30) feet to any barn, accessory farm structure, or to any lot line of adjoining property.
5. Approval from the Central Michigan District Health Department must be obtained for water well and sewage disposal facilities.

U. Self-Storage Buildings (Amended Ord 2000-10) : Facilities used to provide temporary storage needs for business, apartment dwellers, and other individuals on a self-service basis subject to the following:

1. Allowed as a special use provided they are located in B-4 or B-5 Districts.
2. Provided they shall be architecturally designed so as not to have a flat roof, and shall instead have a mansard, gable, hip or gambrel roof design.
3. Provided they meet all required conditions of the B-4 or B-5 zone.
4. All entrances and exits shall be designed in accordance with the Isabella County Road Commission requirements. It is further required that all sites shall provide points of ingress and egress that are located upon a public road. Local traffic movement shall be accommodated within the site so the entering and exiting vehicles will make normal and uncomplicated movements into or out of the public road.
5. Greenbelt planting and screening will be required so as to obscure view from any adjacent residential District. Screening will also be required where property is within two hundred fifty (250) feet of any residentially zoned property. Screening shall consist of non-deciduous trees, not less than three (3) feet in height, planted and maintained in live condition not less than fifteen (15) feet on centers.
6. Maximum length of any self-storage building shall be two hundred fifty (250) feet.
7. No storage of combustible or flammable liquids, combustible fibers, or explosive materials, as defined in the fire prevention code, or toxic materials shall be permitted within the self-storage building or upon the premises.
8. No storage outside of the self-storage buildings shall be permitted.

The use of the premises shall be limited to storage only and shall not be used for operating any other business, for maintaining or repairing of any vehicles, recreational equipment or other items, for any recreational activity, hobby, or purpose other than the storage of personal items and business items as herein be fore set forth.

10. All entries, drives and parking areas shall be hard surfaced and shall provide drainage and grading to move storm water away from the storage units.

V. State-Licensed Residential Facilities:

1. State-licensed residential facilities are only located within Ag Districts.
2. State-licensed residential facilities as defined and properly licensed by Act 218 of the Public Acts of 1979 and Act 116 of the Public Acts of 1973, as amended, which provide resident services for seven (7) or more persons under twenty-four (24) hour supervision, shall only be permitted in AG Districts. Notifications of such proposed special use shall be mailed to all residents within a one thousand five hundred (1,500) foot radius to the property lines of the proposed site as directed by MCLA 125.216(a); MSA 5.2961 (16A).

W. Veterinarian Services:

1. Veterinarian services shall be permitted only in the AG District.
2. All buildings shall be set back a minimum of fifty (50) feet from all lot lines.
3. If animals are housed outdoors, the animals shall be housed at least one hundred (100) feet from all lot lines and at least five hundred (500) feet from any R-1, R-2A, R-2B, R- 3, R-4, or R-5 District.

X. Mobile and Modular Home Sales, Provided

1. They shall be located in a B-6 or B-7 district as a Special Use only (Amended Ord. 1998-21).
2. Entrances and exits as specified in Section 30.4.B.2.
3. Driveways and Parking areas as specified in Section 30.4.B.2.
4. They shall meet the standards in Section 24.4.
5. Maximum lot coverage (By All Buildings including display models) shall not exceed 30% of Gross Lot Area unless the conditions and requirements of Section 24.4.E. are complied with.
6. The premises shall not be used for repairing or restoration of any mobile or modular homes, or other items unless such repair or restoration shall be conducted in a fully enclosed building.
7. Service vehicles shall be parked on a paved surface and completely screened from view of adjacent properties.
8. Lighting of outdoor display areas shall be shielded so as to deflect light away from adjacent properties. Such lighting shall also be deflected away from any adjacent properties. Such lighting shall also be deflected away from any adjacent street so as not to interfere with traffic.
9. The distance between display models shall not be less than ten (10) feet.
10. Display units shall be skirted immediately upon placement on the sales lot.

Y. Multiple-Family Dwellings of Five or More Units, Provided: (New, Ord 1995-6)

1. The building(s) are located in a R-3 District.

REQUEST FOR TOWNSHIP BOARD ACTION

To: Mark Stuhldreher Township Manager	DATE: 05/02/2019
FROM: Peter Gallinat Township Planner	DATE FOR BOARD CONSIDERATION: 05/08/2019
ACTION REQUESTED: Introduce Zoning Map Amendment Ordinance 2019-03 for a first reading. Publish proposed ordinance adoption for May 22, 2019.	

Current Action Emergency _____

Funds Budgeted: If Yes _____ Account # _____ No _____ N/A X

Finance Approval _____

BACKGROUND INFORMATION

During the April 16, 2019 Planning Commission meeting a public hearing was held for the rezoning of property at 5115 Stirrup Dr. from R-5(Mobile or Modular Home District) to R-2B (One- and Two-Family Medium-Density District). The intent of the rezoning application is for a group day care home. This is a special use permitted in an R-2B District but not an R-5 District. If the rezone is adopted the applicant plans to then seek a Special Use permit for a group day care home. Following the public hearing the Planning Commission reviewed the application and recommended adoption as the request is consistent with the Future Land Use map of the Master Plan.

SCOPE OF SERVICES

N/A

JUSTIFICATION

Following a public hearing the Planning Commission reviewed and recommended approval of Zoning Map Amendment Ordinance 2019-03. The proposal has been forwarded to the County Planning Commission for their review and input.

PROJECT IMPROVEMENTS

The following Board of Trustees goal is addressed with this request.

1. Community well-being and common good.
2. Commerce

COSTS

N/A

PROJECT TIME TABLE

The first step is to introduce the Ordinance at a board meeting to hold a 1st reading. At this first meeting the board votes to publish notice for the adoption of said Ordinance. The second step is to then consider adoption of the Ordinance at the meeting that was noticed. If the Township Board adopts the Ordinance a notice of adoption will be published in the Newspaper.

RESOLUTION

Authorization is hereby given to publish notice for the adoption of Ordinance 2019-03 at the May 22, 2019 Board of Trustees meeting.

Resolved by _____ Seconded by _____

Yes:
No:
Absent:

APPLICATION FOR ZONING CHANGE
CHARTER TOWNSHIP OF UNION
ISABELLA COUNTY, MICHIGAN

APPLICATION NO. _____

DATE 3/2/19

A. I (WE) Julie M. Becker

Address 5115 Stirrup Lane

Phone 989-330-4356

hereby file an application with the Township Clerk's office to:

1. Add to or change the text of the Zoning Ordinance.
2. Change the district boundaries.
3. Re-zone the property from RS
zoning classification to R2B
zoning classification.

B. If this application is for a text amendment please describe in detail what you would like to change. Give section numbers and proposed changes, standards, and procedures.

DIA

C. If this application is for the re-zoning of property please provide a complete legal description.

T14N R4W S834 Copper Estates Unit 26

D. If this application is for re-zoning please provide a complete common description. (address, cross roads, etc.)

5115 Stirrup Lane Mt. Pleasant MI 48858
Bridle Lane / Saddle Lane

E. Please provide reasons for requesting text amendment or zoning change and include intended use of any land, buildings, or structures.

Required for opening a group day care allowing 7-12 children

F. Please provide a site plan for any property to be re-zoned following the requirements outlined in Section 12 of the Union Township Zoning Ordinance 1991-5.

G. List names and addresses of property owners lying within 300 feet of the property to be re-zoned. (use separate sheet)

H. List all or any easements or right-of-ways which have been granted said properties herein described.

None

CERTIFICATION:

I (WE) hereby certify that the afore information is accurate and assume responsibility for any error.

SIGNED:

John M. Becker _____ 3/22/19
Applicant Date

Applicant Date

Applicant Date

** FOR OFFICE USE ONLY **

Date application referred to Planning Commission _____

Date public hearing notice published _____

Date public hearing notice mailed _____

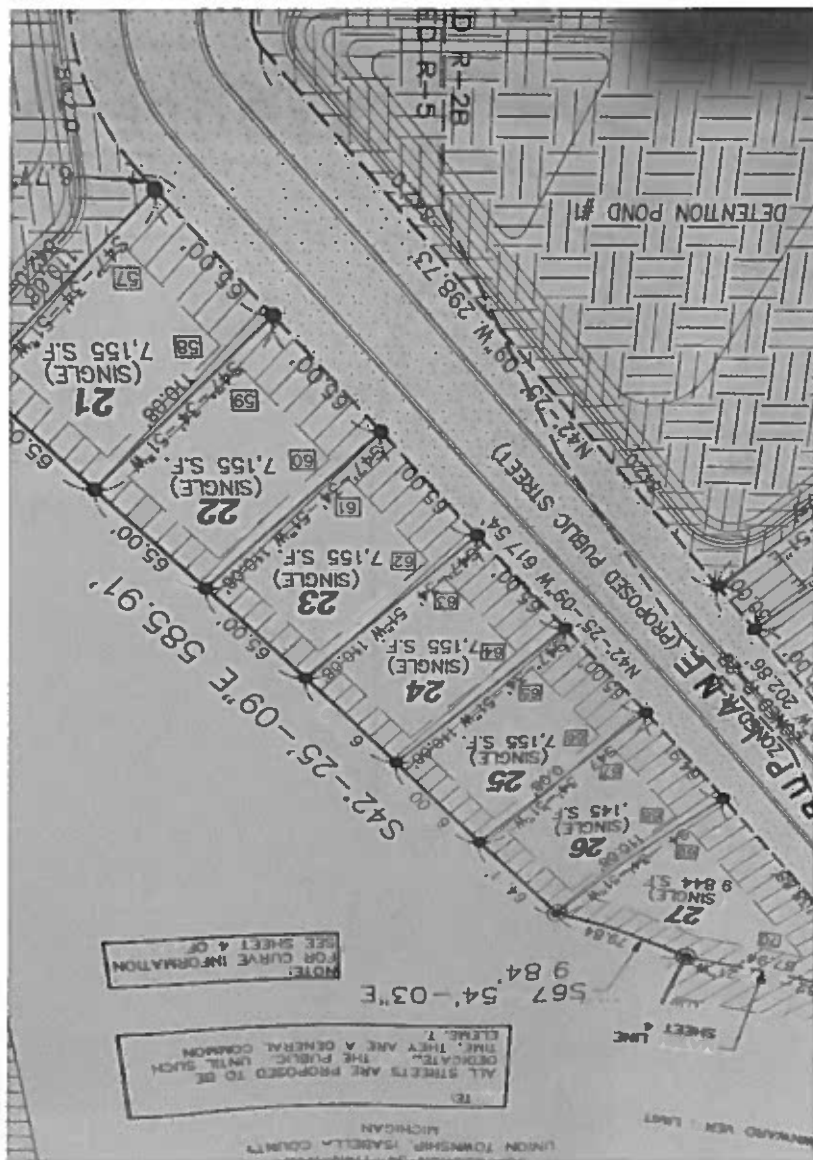
Planning Commission Action. ___ Adopted ___ Denied Date _____

Date referred to County Planning Commission _____

Township Board Action ___ Adopted ___ Denied Date _____

Remarks: _____

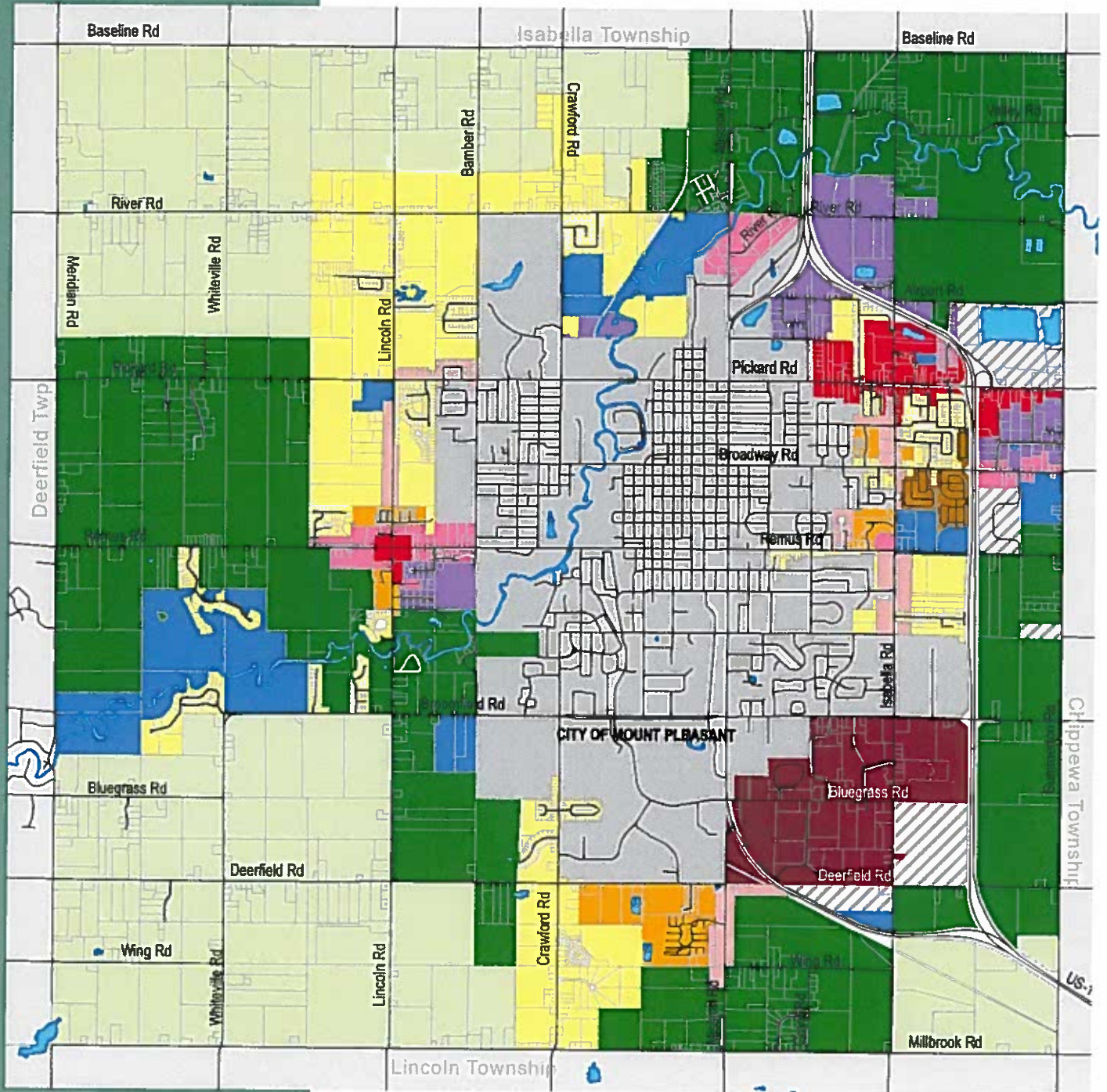
FEE _____ RECEIPT NO. _____



NOTE:
FOR CURVE INFORMATION
SEE SHEET 4 OF

ALL STREETS ARE PROPOSED TO BE
DECATED. THE PUBLIC LIMIT SUCH
ELEV. 1
ELEV. 7

UNION TOWNSHIP, WASHTENAW COUNTY,
MICHIGAN
















Union Charter Township Future Land Use



Sources: MCGI, Union Township, LSL Planning

Read more about Rural Preservation and Rural Buffer in Chapter 2: Growth Management

- | | | | |
|---|-----------------------|---|---------------------------|
|  | Rural Preservation |  | Neighborhood Service |
|  | Rural Buffer |  | Community Commercial |
|  | Residential |  | Commercial/Industrial Mix |
|  | Residential- Attached |  | Industrial/Employment |
|  | Manufactured Housing |  | Recreation/Institutional |
|  | Bluegrass Center Area |  | Tribal Trust Lands |
| | |  | City of Mount Pleasant |

Future Land Use Categories

The future land use categories described throughout the plan are summarized below:

Rural Preservation. Rural Preservation Areas outside of the growth boundary should be maintained at a low intensity rural character of development that will not adversely impact natural features and agricultural uses. Agriculture should be promoted and future rezoning requests for residential should be prohibited to prevent leapfrog development.

Rural Buffer. Rural Buffer areas generally do not have sewer and water, but are appropriate for agricultural, low density residential, and other uses allowed by zoning. Typically this buffer is located on the fringe between rural and more urbanized areas. Rezoning requests for more intensive uses should be limited, especially those requiring extended utility service.

Residential. After agriculture, this category is the township's predominant land use, and is meant to promote single-family homes on a variety of lot sizes. With new development, subdivision design should protect open space and natural features and limit single driveways onto corridors.

Residential – Attached. This land use category covers a variety of attached dwelling units and includes areas planned for both medium- and high-density residential development including duplexes, attached condominiums, townhomes, and flats.

Manufactured Housing. This category is provided primarily for manufactured housing communities, such as those located on Broadway Road between Isabella Road and US-127. This designation is limited to areas along Major Arterial roads served by utilities.

Neighborhood Service. Located primarily along corridors adjoining lower intensity land uses, the intent of this district is to limit future retail and focus on small-scale personal service and office uses. This district accommodates shallow lots, providing a good buffer and transition to residential uses and limiting heavy commercial and general retail uses so they can be focused on other areas of the township. Rear yards adjoining residential areas should be well-screened to limit impacts of higher intensity uses. These areas should be

accessible and comfortable for the pedestrian and should create a sense of place along the roadway.

Retail/Service. This district is intended for the widest variety of retail and service businesses. They could range from apparel shops, auto service, and restaurants through small commercial strip centers and office buildings. This district is not intended for heavy commercial/light industrial uses like landscaping or contractor yards, heavy auto repair, or similar uses that may require some form of outside storage. Locations for this district are based on arterial road frontage and the need for high traffic volumes with convenient, well-managed access.

Commercial / Light Industrial. This district is intended for a blend of medium intensity commercial and small-scale light industrial uses. Light industrial uses include but are not limited to small-scale manufacturing, laboratories, R&D (research and development) firms, information technology firms, or other businesses that might be found in a technology park.

Industrial / Employment. This category promotes traditional industrial employment. Located near regional nodes with convenient access to interchanges, this district provides an opportunity to diversify the industrial employment base of the township by reserving areas for research, development, technology, and corporate offices or campuses that will have less of an impact than traditional industrial uses. Uses to complement CMU's Smart Zone would include research, design, engineering, testing, laboratories, diagnostics, and experimental product development. Types of industries may include automotive, electronics, alternative energy technologies, computers, communications, information technology, chemical or biomedical engineering.

Recreation / Institutional. This category is designated primarily for indoor/outdoor recreation both private and publicly owned.

Tribal Trust Lands. These areas are under the jurisdiction of the Saginaw Chippewa Indian Tribe.

CHARTER TOWNSHIP OF UNION
Planning Commission
Regular Meeting

A regular meeting of the Charter Township of Union Planning Commission was held on April 16, 2019 at the Township Hall.

Meeting was called to order at 7:01 p.m.

Roll Call

Present: Buckley, Clerk Cody, Darin, Fuller, LaBelle, Shingles, Squattrito, and Webster

Excused: Mielke

Others Present

Township Planner, Peter Gallinat and Secretary, Jennifer Loveberry

Approval of Minutes

LaBelle moved **Webster** supported the approval of the February 19, 2019 regular meeting as presented. **Vote: Ayes: 8 Nays: 0. Motion carried.**

Correspondence / Reports

- Letter from Rosewood Development to withdraw rezone application REZ 2019-03 Rezone R3A to OS.

Approval of Agenda

Shingles moved **Webster** supported approval of the agenda as amended, removing item C. REZ 2019-03 REZ Rezone R3A to OS. **Vote: Ayes: 8 Nays 0. Motion carried.**

Public Comment – 7:05 p.m.

No comments were offered.

New Business

A. REZ 2019-02 Rezone R-5 to R-2B 5115 Stirrup Dr. Owner: Julie Recker (Hold Public Hearing and make recommendation to the Board of Trustees)

Introduction by Township Planner, applicant desires to rezone from R-5 to R-2B. If rezoned a SUP will be requested to operate a group day care home at their residence.

Public Hearing – Open 7:08 p.m.

No comments were offered.

Applicant, Julie Recker, available for questions from Planning Commission

Webster moved **Shingles** supported to Recommend to the Board of Trustees approval of REZ 2019-02, as it is conforming with the FLU Map. **Vote: Ayes: 7 Nays: 1. Motion carried.**

B. SPR 2019-04(SPA OF SPR 2019-02) McDonald’s Amending current site plan removing 3 existing parking stalls & requesting provisional relief from sidewalks (Remus Rd) located at 1963 E. Remus Rd. Owner McDonald’s USA LLC (Review and approve final site plan)

Introduction by Township Planner.

Applicant John Lorentzen presented request to amend current approved site plan SPR 2019-02, removing three (3) parking stalls and requests provisional relief of sidewalks along Remus Rd. stating less than 50% of the surveyed sections of the township along the road fronting the proposed development has sidewalks. If on a corner lot, the mile will extend in both directions along the frontage roads. Once the threshold has been met all parcels will be required to construct sidewalks within 1 year from the adopted Township Site Plan Sidewalk Relief Policy.

Buckley moved **Webster** supported to approve SPR 2019-04 located at 1963 E. Remus Rd. Owner McDonald’s USA LLC as presented, removing three (3) existing parking stalls and that the applicant complies with the Isabella County Drain Commission review regarding storm water management plan/comments. Provisional relief for sidewalks construction along Remus Rd. was not granted. **Vote: Ayes: 8 Nays: 0 Motion carried.**

C. SUP 2019-02 Amend special use request located Lincoln Rd Owner: McGuirk Mini Storage Inc. (Hold Public Hearing and make recommendations to the Board of Trustees)

*Recusal by LaBelle & Fuller, per section VII. Conflict of Interest of the Planning Commissions adopted By-Laws.

Introduction by Township Planner.

Public Hearing - Open 7:52 p.m.

Vance Johnson, 7777 Whiteville, Representing Fisher Companies – In support of SUP project
Dave Coyne, 1368 N. Harris – In support of SUP project
John Hunter, 995 Meadowbrook – In support of SUP project
Jeremy Sheets, 1740 LeRoy Ln. – In support of SUP project
Bob & Hilary Elmore, 1890 LeRoy Ln. – In support of SUP project
Terri Sommerville, Representing Arboretum Apartments – If SUP passes, requests evergreen screening to the North and West of Arboretum Apartments

Letter (email) Teri Sommerville- correspondence received.

Public Hearing Closed 7:58p.m.

Tim Bebee, CMS&D and Joseph Quandt, Traverse City Attorney, represented applicant

Mr. Quandt stated that screening is shown on all three sides of plan and stated his applicant’s responses from the Township Zoning Ordinance section 30.3 (1-10) and 30.4U were part of the packet.

Mr. Bebee provided plan showing screening of the self-storage buildings

The Planning Commission reviewed section 30.3 (1-10) of the zoning ordinance and 30.4.U Special Uses Permitted - Self-Storage Buildings (1-8).

Shingles moved **Cody** supported to recommend approval of SUP 2019-02, amending the current SUP to allow expansion of the existing approved self-storage operation, to the Board of Trustees.
Vote: Ayes: 6 Nays: 0 Motion carried.

Other Business

Extended Public Comment

Open 8:24 p.m.

Teri Sommerville, clarification of screening of Arboretum Apartments by the road between the Apartments, requests evergreens on the North and West to screen lights and noise from Apartments.

Dave Klemm, 2428 Rosewood, thanked the Planning Commission for their service, stated he was at the meeting for the Rosewood project

Tim Bebee 2257 E. Broomfield – Stated that he represents Rosewood, clarified that they withdrew the rezone application, so a meeting could be held with the Condo Board to address some issues by residents, commented on requesting variance prior to rezone, and expressed his opinion on R5 District.

Final Board Comment

Mentioned meeting April 30, 2019 regarding Jameson Park Planning & Design Master Plan (5142 Bud Street) public input meeting from 5:30 – 6:30 p.m. at Union Township Hall, 2010 S. Lincoln Rd.

Adjournment – Chairman Squattrito adjourned the meeting at 8:37 p.m.

APPROVED BY:

Alex Fuller - Secretary
Mike Darin – Vice Secretary

(Recorded by Jennifer Loveberry)



To: Michigan Townships Association Member Boards
From: Larry Merrill, MTA Executive Director
Date: March 19, 2019
Re: Option for Nonpartisan Township Offices

The Michigan Townships Association Board of Directors requests action by your township board on the attached resolution regarding a time-sensitive legislative policy issue.

Over the years, township officials have suggested to MTA that elective Michigan township offices should be nonpartisan. Consistent with long-standing policy and bylaws, the Michigan Townships Association Board of Directors put the question before the membership at the MTA Annual Meeting in 2012, where it was voted down by the MTA membership in attendance. However, a state representative intends to introduce and actively promote legislation to make nonpartisan township offices *optional* to townships. As an option rather than a mandate, the bill creates a policy dilemma for MTA between continued policy guidance on the question based on the 2012 Annual Meeting vote that did not address a nonpartisan option, and MTA's core value supporting the principle of local control. Also, a considerable period of time has lapsed since the membership voted to oppose nonpartisan elections and arguably the perspective of township officials may be different now.

MTA will need take a position on the optional nonpartisan election bill in the near future, even if that position is neutral. Because the MTA board has already finalized and provided notice to the membership of the proposed 2019 Policy Platform, the upcoming Annual Meeting is not conducive to ascertaining how the broadest spectrum of MTA member boards and their communities would value the opportunity to hold nonpartisan township elections.

To ascertain perspectives of the MTA membership, the MTA Board of Directors is asking *member township boards* to put this issue on the agenda to discuss and take a position at a township board meeting. The MTA board is taking this unusual step with the hope that the issue be framed in terms of a position that best reflects the values of townships as communities as opposed to what is in the best political interest of incumbent officials.

MTA is requesting that township clerks forward this memo to all members of their township boards and that if there is interest among the board to indicate a policy preference, to discuss the issue in the same manner that the board considers other pertinent issues, take a vote on the attached resolution, and **return the resolution to MTA by April 30, 2019**. The MTA bylaws do not allow this method of reaching out to members to be binding on the board of directors or staff in directing the association's legislative policies, but the association will take the input it receives seriously.

To assist your board in its discussions, a table is attached listing the pros and cons of partisan and nonpartisan elections that have been expressed to MTA, as well as the perceptions of MTA leaders. The list may not be all-inclusive and is not intended to influence whatever position your board may take.

As always, thank you for your time, thoughtful review and anticipated response on this matter.

Issue: Should Michigan townships have the option of holding township board member elections on the nonpartisan ballot?

Arguments <u>Supporting</u> Optional Nonpartisan Township Elections	Arguments <u>Opposing</u> Optional Nonpartisan Township Elections
Township elective offices in some other states are nonpartisan.	Partisan elections are inherent in the culture and traditions of Michigan township government.
Nonpartisan offices are an option available to cities as a charter provision.	Cities have home rule; townships and counties are statutory governments.
Township officials should be elected on merit, not party affiliation.	Party affiliations help voters know a candidate's values.
As some communities become more politically polarized, party affiliation disadvantages candidates who identify with community's minority party.	Township board composition should change as electors' expectations and ideologies change.
Township issues seldom align with political party ideologies.	Township boards decisions can reflect an expansive or a limited role of government consistent with party ideologies.
Veteran township officials are at risk of losing elections as their communities shift political party alignments.	Township boards should change as their electors change. It is not MTA's role to defend incumbents.
Partisanship has compromised the effectiveness of state and national legislatures. Townships should be allowed to insulate themselves from partisan divisiveness.	Partisan local elections are instructive to voters as to how state and national partisan elections work.
The preponderance of township officials of a certain party compromises MTA's influence with lawmakers of the other party.	Partisan identification strengthens MTA's political clout by leveraging party influence on public policy.
A potential solution to "voter fatigue" would be to move township elections to the gubernatorial elections, but there is no assurance that the legislation will accomplish this.	Because the nonpartisan section is at the bottom of a long ballot, "voter fatigue" results in fewer votes in the nonpartisan section of the ballot. There is no assurance that township elections will move away from presidential elections.

Resolution

At a meeting of the _____ Township Board, the following resolution was offered by (office, name) _____ and supported by (office, name) _____:

Be it resolved, that the township board is on record in ___ support ___ opposition to legislation that would allow township boards the option to have its elected offices appear as nonpartisan on the ballot. The reason(s) for the board’s position is/are as follows: *(if desired, elaborate with the basis for the board’s position)*:

Roll call vote (please provide names of voting board members):

Supervisor	_____	___yes	___no
Clerk	_____	___yes	___no
Treasurer	_____	___yes	___no
Trustee	_____	___yes	___no
Trustee	_____	___yes	___no
Trustee	_____	___yes	___no
Trustee	_____	___yes	___no

The motion was declared ___adopted ___ not adopted.

Clerk’s certification

I hereby certify that the forgoing is a true statement of an action taken by the _____ Township Board at an official meeting of said board on (date)_____.

Clerk’s signature

Date

*Township Clerk: Please complete after township board action and **return to MTA by April 30, 2019** by mail: Michigan Townships Association, 512 Westshire Drive, Lansing, MI 48917; or fax to 517-321-8908; or email a PDF copy to legislation@michigantownships.org.*